

EXTERIOR AND INTERIOR ALTERATIONS TO AN EXISTING HOTEL



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TITLE SHEET



City of Santa Barbara
California

CITY OF SANTA BARBARA STAFF HEARING OFFICER
RESOLUTION NO. 046-21
421 S. MILPAS STREET
MODIFICATION AND COASTAL DEVELOPMENT PERMIT
SEPTEMBER 22, 2021

421 S. MILPAS ST., ZONE: HRC-1/S-D-3 (HOTEL AND RELATED COMMERCE/COASTAL OVERLAY), COASTAL LAND USE PLAN DESIGNATION: HOTEL AND RELATED COMMERCE I, APN: 017-313-012, PLN2020-00603, APPLICANT/OWNER: SHERRY & ASSOCIATES ARCHITECTS / BLUE SANDS, LLC

Proposal for improvements and accessibility upgrades to the Blue Sands Inn. Project includes exterior alterations to the hotel structure including a new stair tower, site improvements including changes to landscaping and the pool area, and a new exterior patio along Milpas Street, and miscellaneous interior upgrades including converting the manager's bedroom to a hotel room.

The discretionary applications required for this project are:

1. A Front Setback Modification to allow for exterior improvements within the 20-foot Front Setback (SBMC §28.22.060.A & 28.92.1.10); and
2. A Coastal Development Permit (CDP2021-00009) to allow the proposed development in the Non-Appellable Jurisdiction of the City's Coastal Zone (SBMC §28.45.009).

The project is categorically exempt from further environmental review pursuant to California Environmental Quality Act Guidelines Sections 15301 and 15305.

WHEREAS, the Staff Hearing Officer has held the required public hearing on the above application, and the Applicant was present.

WHEREAS, one person appeared to speak in favor of the application, and no one appeared to speak in opposition thereto, and the following exhibits were presented for the record:

1. Staff Report with Attachments, September 16, 2021.
2. Site Plans

NOW, THEREFORE BE IT RESOLVED that the City Staff Hearing Officer:

- I. Approved the subject application, making the following findings and determinations:
 - A. FRONT SETBACK MODIFICATION (SBMC §28.22.060.A & 28.92.1.10)
 1. The Front Setback Modification is consistent with the purposes and intent of the Zoning Ordinance, and is necessary to secure an appropriate improvement to the lot. The improvements located in the required 20-foot setback are within the footprint of the nonconforming hotel and are largely aesthetic and designed to enhance the architectural character of the building, or necessary to satisfy the Americans with Disabilities Act (ADA) requirements. No impacts to noise or

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privacy are associated with the improvements located in the front setback, as they generally face the public right-of-way or the existing parking lot.

B. COASTAL DEVELOPMENT PERMIT (SBMC §28.44.150)

1. The project is consistent with the policies of the California Coastal Act as described in Section VLB of the staff report dated September 16, 2021. The proposal will not result in any adverse effects related to coastal resources, including public views, public access to the coastal, and coastal bluff erosion. The proposed development is located within an existing developed area that is able to accommodate it, and no changes are proposed to the existing hotel parking lot.
2. The project is consistent with all applicable policies of the City's Local Coastal Plan, all applicable implementing guidelines, and with approval of the front setback modification, all applicable provisions of the Code as described in Section VI of the staff report dated September 16, 2021. The proposed improvements to the existing two-story hotel are compatible with surrounding neighborhood development, and will not impact any public views or public access to the coast. The development is not located on a coastal bluff, or any visual or biological sensitivity area.

II. Said approval is subject to the following conditions:

In consideration of the project approval granted by the Staff Hearing Officer and for the benefit of the owner and occupant of the Real Property, the owners and occupants of adjacent real property and the public generally, the following terms and conditions are imposed on the use, possession, and enjoyment of the Real Property:

A. Order of Development. In order to accomplish the proposed development, the following steps shall occur in the order identified:

1. Obtain all required design review approvals.
2. Record any required documents (see Recorded Conditions Agreement section).
3. Permits.
 - a. Submit an application for and obtain a Building Permit (BLD) for construction of approved development and complete said development.
 - b. Submit an application for and obtain a Public Works Permit (PBW) for all required public improvements and complete said improvements.

Details on implementation of these steps are provided throughout the conditions of approval.

B. Recorded Conditions Agreement. The Owner shall execute a *written instrument*, which shall be prepared by Planning staff, reviewed as to form and content by the City Attorney and Community Development Director, recorded in the Office of the County Recorder, and shall include the following:

1. Approved Development. The development of the Real Property approved by the Staff Hearing Officer on August 11, 2021 is limited to exterior and interior

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alterations to the Blue Sands Inn, including a new stair tower at the east elevation; alterations and improvements to the Milpas Street frontage including a new outdoor patio; a new upper level deck at the hotel interior courtyard; new permeable pavers; an outdoor fireplace; alterations to the pool area including the pool enclosure, a new pool trellis, and new spa; reconfiguring guest room #3 to an accessible room; conversion of the manager's bedroom to a new hotel guest room; and improvements shown on the plans signed by the Staff Hearing Officer on September 22, 2021 and on file at the City of Santa Barbara. No changes to the existing parking lot are a part of the project.

2. Uninterrupted Water Flow. The Owner shall allow for the continuation of any historic flow of water onto the Real Property including, but not limited to, swales, natural watercourses, conduits and any access road, as appropriate.

3. Landscape Plan Compliance. The Owner shall comply with the Landscape Plan approved by the Architectural Board of Review (ABR). Such plan shall not be modified unless prior written approval is obtained from the ABR. The landscaping on the Real Property shall be provided and maintained in accordance with said landscape plan, including any tree protection measures. If said landscaping is removed for any reason without approval by the ABR, the owner is responsible for its immediate replacement.

4. Areas Available for Parking. All parking areas and access thereto shall be kept open and available in the manner in which it was designed and permitted.

C. Design Review. The project, including public improvements, is subject to the review and approval of the Architectural Board of Review (ABR). The ABR shall not grant project design approval until the following Staff Hearing Officer land use conditions have been satisfied.

1. Tree Protection Measures. The landscape plan and grading plan shall include the following tree protection measures:

- a. Tree Protection. All trees not indicated for removal on the approved site plan / landscape plan shall be preserved, protected, and maintained.
- b. Landscaping Under Trees. Landscaping under the trees shall be compatible with the preservation of the trees, as determined by the ABR.
- c. During Construction.

- (1) All trees within 25 feet of proposed construction activity shall be fenced three feet outside the dripline for protection.
- (2) No grading shall occur within three feet of the dripline of the existing trees.
- (3) A qualified Arborist shall be present during any excavation beneath the dripline of the trees which are required to be protected. All excavation within the dripline of the trees shall be minimized and shall be done with hand tools.

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- (4) Any roots encountered shall be cleanly cut and sealed with a tree-seal compound.
- (5) Any root pruning and trimming shall be done under the direction of a qualified Arborist.

2. Screened Backflow Device. The backflow devices for fire sprinklers, pools, spas and/or irrigation systems shall be provided in a location screened from public view or included in the exterior wall of the building, as approved by the ABR.

D. Requirements Prior to Permit Issuance. The Owner shall submit the following, or evidence of completion of the following, for review and approval by the Department listed below prior to the issuance of any permit for the project. Some of these conditions may be waived for demolition or rough grading permits, at the discretion of the department listed. Please note that these conditions are in addition to the standard submittal requirements for each department.

1. Public Works Department.

- a. Water Rights Assignment Agreement. The Owner shall assign to the City of Santa Barbara the exclusive right to extract ground water from under the Real Property in an *Agreement Assigning Water Extraction Rights*. Engineering Division Staff prepares said agreement for the Owner's signature.
- b. Construction-Related Truck Trips. Construction-related truck trips for trucks with a gross vehicle weight rating of three tons or more shall not be scheduled during peak hours (7:00 a.m. to 9:00 a.m. and 4:00 p.m. to 6:00 p.m.) in order to help reduce truck traffic on adjacent streets and roadways.

2. Community Development Department.

- a. Recordation of Agreements. The Owner shall provide evidence of recordation of the written instrument that includes all of the Recorded Conditions identified in condition B "Recorded Conditions Agreement" to the Community Development Department prior to issuance of any building permits.
- b. Drainage and Water Quality. The project is required to comply with Tier 2 of the Storm Water BMP Guidance Manual, pursuant to Santa Barbara Municipal Code Chapter 22.87. The Owner shall submit worksheets from the Storm Water BMP Guidance Manual for Post Construction Practices prepared by a registered civil engineer or licensed architect demonstrating that the new development will comply with the City's Storm Water BMP Guidance Manual. Project plans for grading, drainage, stormwater facilities and treatment methods, and project development, shall be subject to review and approval by the City Building Division and Public Works Department. Sufficient engineered design and adequate measures shall be employed to ensure that no permitted construction-related or long-term effects from increased runoff, erosion and sedimentation, urban water pollutants (including, but not limited to

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3. Approval Limitations.

- a. The conditions of this approval supersede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.
- b. All buildings, roadways, parking areas and other features shall be located substantially as shown on the plans approved by the Staff Hearing Officer.
- c. Any deviations from the project description, approved plans or conditions must be reviewed and approved by the City, in accordance with the Planning Commission Guidelines. Deviations may require changes to the permit and/or further environmental review. Deviations without the above-described approval will constitute a violation of permit approval.

4. Litigation Indemnification Agreement. In the event the Planning Commission approval of the Project is appealed to the City Council, Applicant/Owner hereby agrees to defend the City, its officers, employees, agents, consultants and independent contractors ("City's Agents") from any third party legal challenge to the City Council's denial of the appeal and approval of the Project, including, but not limited to, challenges filed pursuant to the California Environmental Quality Act (collectively "Claims"). Applicant/Owner further agrees to indemnify and hold harmless the City and the City's Agents from any award of attorney fees or court costs made in connection with any Claim.

Applicant/Owner shall execute a written agreement, in a form approved by the City Attorney, evidencing the foregoing commitments of defense and indemnification within thirty (30) days of being notified of a lawsuit regarding the Project. These commitments of defense and indemnification are material conditions of the approval of the Project. If Applicant/Owner fails to execute the required defense and indemnification agreement within the time allotted, the Project approval shall become null and void absent subsequent acceptance of the agreement by the City, which acceptance shall be within the City's sole and absolute discretion. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents decide to independently defend a Claim, the City and the City's Agents shall bear their own attorney fees, expenses, and costs of that independent defense.

III. TIME LIMITS.

A. NOTICE OF MODIFICATION APPROVAL TIME LIMITS:

The Staff Hearing Officer action approving the **Modification** shall terminate three (3) years from the effective date of the approval, per Santa Barbara Municipal Code §30.205.120, unless:

1. An extension is granted by the Community Development Director prior to the expiration of the approval; or

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trash, hydrocarbons, fertilizers, bacteria, etc.), or groundwater pollutants would result from the project.

c. Design Review Requirements. Plans shall show all design, landscape and tree protection elements, as approved by the appropriate design review board and as outlined in Section C "Design Review," and all elements/specifications shall be implemented on-site.

d. Conditions on Plans/Signatures. The final Resolution shall be provided on a full size drawing sheet as part of the drawing sets. The following statement shall be signed prior to issuance of and permits: The undersigned have read and understand the required conditions, and agree to abide by any and all conditions which are their usual and customary responsibility to perform, and which are within their authority to perform.

Signed:

| | | |
|----------------|------|-------------|
| Property Owner | | Date |
| Contractor | Date | License No. |
| Architect | Date | License No. |
| Engineer | Date | License No. |

E. Construction Implementation Requirements. All of these construction requirements shall be carried out in the field by the Owner and/or Contractor for the duration of the project construction, including demolition and grading.

1. Construction Contact Sign. Immediately after Building permit issuance, signage shall be posted at the points of entry to the site that list the contractor name, contractor telephone number, construction work hours, site rules, and construction-related conditions, to assist Building Inspectors and Police Officers in the enforcement of the conditions of approval. The font size shall be a minimum of 0.5 inches in height. Said sign shall not exceed six feet in height from the ground if it is free-standing or placed on a fence. It shall not exceed 24 square feet if in a multi-family or commercial zone.
2. Construction Hours. Construction (including preparation for construction work) shall only be permitted Monday through Friday between the hours of 7:00 a.m. and 5:00 p.m. and Saturdays between the hours of 9:00 a.m. and 4:00 p.m., excluding the following holidays:

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| | |
|-----------------------------|-----------------------------------|
| New Year's Day | January 1st* |
| Martin Luther King, Jr. Day | 3rd Monday in January |
| Presidents' Day | 3rd Monday in February |
| Memorial Day | Last Monday in May |
| Independence Day | July 4th* |
| Labor Day | 1st Monday in September |
| Thanksgiving Day | 4th Thursday in November |
| Following Thanksgiving Day | Friday following Thanksgiving Day |
| Christmas Day | December 25th* |

*When a holiday falls on a Saturday or Sunday, the preceding Friday or following Monday, respectively, shall be observed as a legal holiday.

When, based on required construction type or other appropriate reasons, it is necessary to do work outside the allowed construction hours, contractor shall contact the City to request a waiver from the above construction hours, using the procedure outlined in Santa Barbara Municipal Code §9.16.015 Construction Work at Night. Contractor shall notify all residents within 300 feet of the parcel of intent to carry out said construction a minimum of 48 hours prior to said construction. Said notification shall include what the work includes, the reason for the work, the duration of the proposed work and a contact number.

3. Construction Storage/Staging. Construction vehicle/ equipment/ materials storage and staging shall be done on-site. No parking or storage shall be permitted within the public right-of-way, unless specifically permitted by the Public Works Director with a Public Works permit.

4. Air Quality and Dust Control. The following measures shall be shown on grading and building plans and shall be adhered to throughout grading, hauling, and construction activities:

- a. During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this should include wetting down such areas in the late morning and after work is completed for the day. Increased watering frequency should be required whenever the wind speed exceeds 15 mph. Reclaimed water should be used whenever possible. However, reclaimed water should not be used in or around crops for human consumption.
- b. Minimize amount of disturbed area and reduce on site vehicle speeds to 15 miles per hour or less.
- c. If importation, exportation and stockpiling of fill material is involved, soil stockpiled for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation. Trucks transporting fill material to and from the site shall be tapered from the point of origin.
- d. Gravel pads shall be installed at all access points to prevent tracking of mud onto public roads.

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After clearing, grading, earth moving or excavation is completed, treat the disturbed area by watering, or revegetating, or by spreading soil binders until the area is paved or otherwise developed so that dust generation will not occur.

f. The contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust offsite. Their duties shall include holiday and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the Air Pollution Control District prior to land use clearance for map recordation and land use clearance for finish grading of the structure.

g. All portable diesel-powered construction equipment shall be registered with the state's portable equipment registration program OR shall obtain an APCD permit.

h. Fleet owners of mobile construction equipment are subject to the California Air Resource Board (CARB) Regulation for In-use Off-road Diesel Vehicles (Title 13 California Code of Regulations, Chapter 9, § 2449), the purpose of which is to reduce diesel particulate matter (PM) and criteria pollutant emissions from in-use (existing) off-road diesel-fueled vehicles. For more information, please refer to the CARB website at www.arb.ca.gov/mgso/mgsoindex.cfm#diesel.htm.

i. All commercial diesel vehicles are subject to Title 13, § 2485 of the California Code of Regulations, limiting engine idling time. Idling of heavy-duty diesel construction equipment and trucks during loading and unloading shall be limited to five minutes; electric auxiliary power units should be used whenever possible.

5. Environmental Health Services (EHS). If fill material or stained/diffuse soil is encountered, work must cease, and EHS must be notified so that the material can be analyzed.

6. Unanticipated Archaeological Resources Contractor Notification. Standard discovery measures shall be implemented per the City master Environmental Assessment throughout grading and construction. Prior to the start of any vegetation or paving removal, demolition, trenching or grading, contractors and construction personnel shall be alerted to the possibility of uncovering unanticipated subsurface archaeological features or artifacts. If such archaeological resources are encountered or suspected, work shall be halted immediately, the City Environmental Analyst shall be notified and the Owner shall retain an archaeologist from the most current City Qualified Archaeologists List. The latter shall be employed to assess the nature, extent and significance of any discoveries and to develop appropriate management recommendations for archaeological resource treatment, which may include, but are not limited to, redirection of grading and/or excavation activities, consultation and/or monitoring

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with a Barbareño Chamash representative from the most current City Qualified Barbareño Chamash Site Monitors List, etc.

If the discovery consists of possible human remains, the Santa Barbara County Coroner shall be contacted immediately. If the Coroner determines that the remains are Native American, the Coroner shall contact the California Native American Heritage Commission. A Barbareño Chamash representative from the most current City Qualified Barbareño Chamash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.

If the discovery consists of possible prehistoric or Native American artifacts or materials, a Barbareño Chamash representative from the most current City Qualified Barbareño Chamash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.

A final report on the results of the archaeological monitoring shall be submitted by the City-approved archaeologist to the Environmental Analyst within 180 days of completion of the monitoring and prior to any certificate of occupancy for the project.

F. Prior to Certificate of Occupancy. Prior to issuance of the Certificate of Occupancy, the Owner of the Real Property shall complete the following:

1. Repair Damaged Public Improvements. Repair any public improvements (curbs, gutters, sidewalks, roadways, etc.) or property damaged by construction subject to the review and approval of the Public Works Department per SBMC §27.60. Where tree roots are the cause of the damage, the roots shall be pruned under the direction of a qualified arborist.
2. Complete Public Improvements. Public improvements, as shown in the public improvement plans or building plans, shall be completed.

G. General Conditions.

1. Compliance with Requirements. All requirements of the city of Santa Barbara and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met. This includes, but is not limited to, the Endangered Species Act of 1973 (ESA) and any amendments thereto (16 U.S.C. § 1531 et seq.), the 1979 Air Quality Attainment Plan, and the California Code of Regulations.
2. Unanticipated Hazardous Materials. If any fill material or stained/diffuse soil is encountered work must cease, and notification of EHS must occur to have the material analyzed.

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2. A Building permit for the use authorized by the approval is issued and the construction authorized by the permit is being diligently pursued to completion and issuance of a Certificate of Occupancy.

B. NOTICE OF COASTAL DEVELOPMENT PERMIT TIME LIMITS:

The Staff Hearing Officer action approving the **Coastal Development Permit** shall expire three (3) years from the date of final action upon the application, per Santa Barbara Municipal Code §28.44.230, unless:

1. A Building permit for the work authorized by the Coastal Development Permit is issued prior to the expiration date of the approval.
2. The Community Development Director grants an extension of the Coastal Development Permit approval. The Community Development Director may grant up to three (3) one-year extensions of the Coastal Development Permit approval. Each extension may be granted upon the Director finding that (i) the development continues to conform to the Local Coastal Program, (ii) the applicant has demonstrated due diligence in completing the development, and (iii) there are no changed circumstances that affect the consistency of the development with the General Plan or any other applicable ordinances, resolutions, or other laws.

This motion was passed and adopted on the 22nd day of September, 2021 by the Staff Hearing Officer of the City of Santa Barbara.

I hereby certify that this Resolution correctly reflects the action taken by the City of Santa Barbara Staff Hearing Officer at its meeting of the above date.

 Katherine Foo, Commission Secretary
 _____ Date

PLEASE BE ADVISED:

1. This action of the Staff Hearing Officer can be appealed to the Planning Commission within ten (10) days after the date the action was taken by the Staff Hearing Officer.
2. If the scope of work exceeds the extent described in the **Modification and Coastal Development Permit** request or that which was represented to the Staff Hearing Officer at the public hearing, it may render the Staff Hearing Officer approval null and void.
3. If you have any existing zoning violations on the property, other than those included in the conditions above, they must be corrected within thirty (30) days of this action.
4. Subsequent to the outcome of any appeal action, your next administrative step should be to apply for **Architectural Board of Review (ABR)** approval and then a building permit.
5. **PLEASE NOTE: A copy of this resolution shall be reproduced on the first sheet of the drawings submitted with the application for a building permit.** The location, size

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and design of the construction proposed in the application for the building permit shall not deviate from the location, size and design of construction approved in this modification.

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| DATE | DESCRIPTION |
|----------|---------------------|
| 11/20/20 | ABR SUBMITTAL |
| 03/09/21 | CDP/MOD SUBMITTAL |
| 05/13/21 | CDP/MOD RESUBMITTAL |
| 07/30/21 | ABR RESUBMITTAL |
| 08/18/21 | ABR RESUBMITTAL |
| 09/28/21 | ABR RESUBMITTAL |

T1.1

SHO RESOLUTION

THESE DRAWINGS ARE THE PROPERTY OF DAWN SHERRY. ALL DESIGNS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND ARE NOT TO BE REPRODUCED, CHANGED, COPIED IN ANY FORM OR ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF DAWN SHERRY, ARCHITECT.



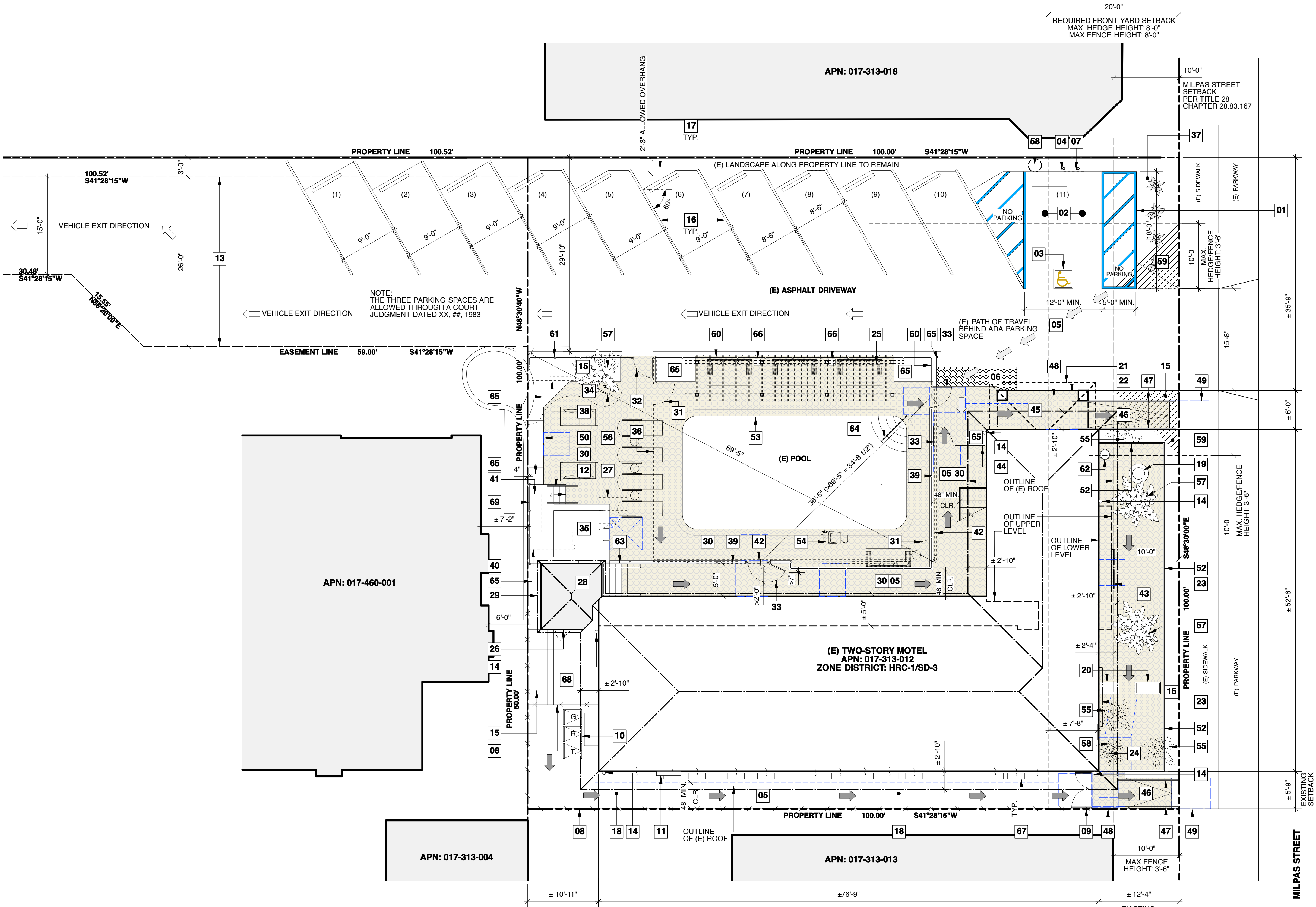
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TO EXISTING HOTEL.

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S H E R R Y & A S S O C I A T E S
A R C H I T E C T S

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| DATE | DESCRIPTION |
|----------|---------------------|
| 11/20/20 | ABR SUBMITTAL |
| 03/09/21 | CDP/MOD SUBMITTAL |
| 05/13/21 | CDP/MOD RESUBMITTAL |
| 07/30/21 | ABR RESUBMITTAL |
| 08/18/21 | ABR RESUBMITTAL |
| 09/28/21 | ABR RESUBMITTAL |



SITE PLAN GENERAL NOTES

ALL ROOFS, PAVED AREAS, YARDS AND COURTS SHALL BE DRAINED INTO A SEPARATE STORM SEWER SYSTEM. DISCHARGE THE WATER IN THE DIRECTION AWAY FROM THE BUILDING AND ADJACENT PROPERTIES AND NOT CAUSE EROSION (CPC CHAPTER 11)

PROVIDE DRAINAGE GRADIENT OF 2% IF IMPERVIOUS SURFACE IS PROVIDED AROUND STRUCTURES TO STREET OR APPROVED DRAINAGE SYSTEM. DRAINAGE SHALL NOT EFFECT ADJACENT PROPERTIES. PROVIDE 5% SLOPE FOR 10 FT AWAY FROM THE BUILDINGS.

SLOPE FOR PERMANENT FILL SHALL NOT BE STEEPER THAN 2:1. DEVIATIONS FROM THIS REQUIREMENT ARE SHOWN IN THE SOILS REPORT. CUTS AND FILLS STEEPER THAN 5:1 SHALL BE CONSTRUCTED WITH SWALES AND SET BACK FROM PROPERTY LINES BY 2 FT MIN (CBC FIG 108.1, SEC 106-108)

SITE PLANS SHOWS ALL RESTRICTIONS THAT MAY AFFECT THE CONSTRUCTION OF THE PROJECT UNDER THIS PERMIT.

NO KNOWN PUBLIC WAYS OR PRIVATE EASEMENTS ON THIS PROPERTY.

THE DETERMINATION OF WHETHER OR NOT A BACKWATER VALVE IS REQUIRED PER CPC 710.1 IS TO BE MADE BY THE PLUMBING CONTRACTOR

DEMOLITION NOTES

ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY REGARDING NON-BEARING / BEARING WALLS. NO BEARING WALLS SHALL BE REMOVED WITHOUT ARCHITECT / STRUCTURAL ENGINEER REVIEW AND APPROVAL.

DEMOLITION SHALL BE LIMITED TO THE SPECIFIC DAYS AND HOURS OF CONSTRUCTION AS SET FORTH BY THE DEPARTMENT OF BUILDING AND SAFETY, CITY OF SANTA BARBARA

NO DEMOLITION WORK SHALL BE COMMENCED PRIOR TO OWNER AUTHORIZATION OF THESE PLANS. OWNER VERIFICATION OF EXTENT OF DEMOLITION, OR CITY OF SANTA BARBARA BUILDING DEPARTMENT APPROVAL.

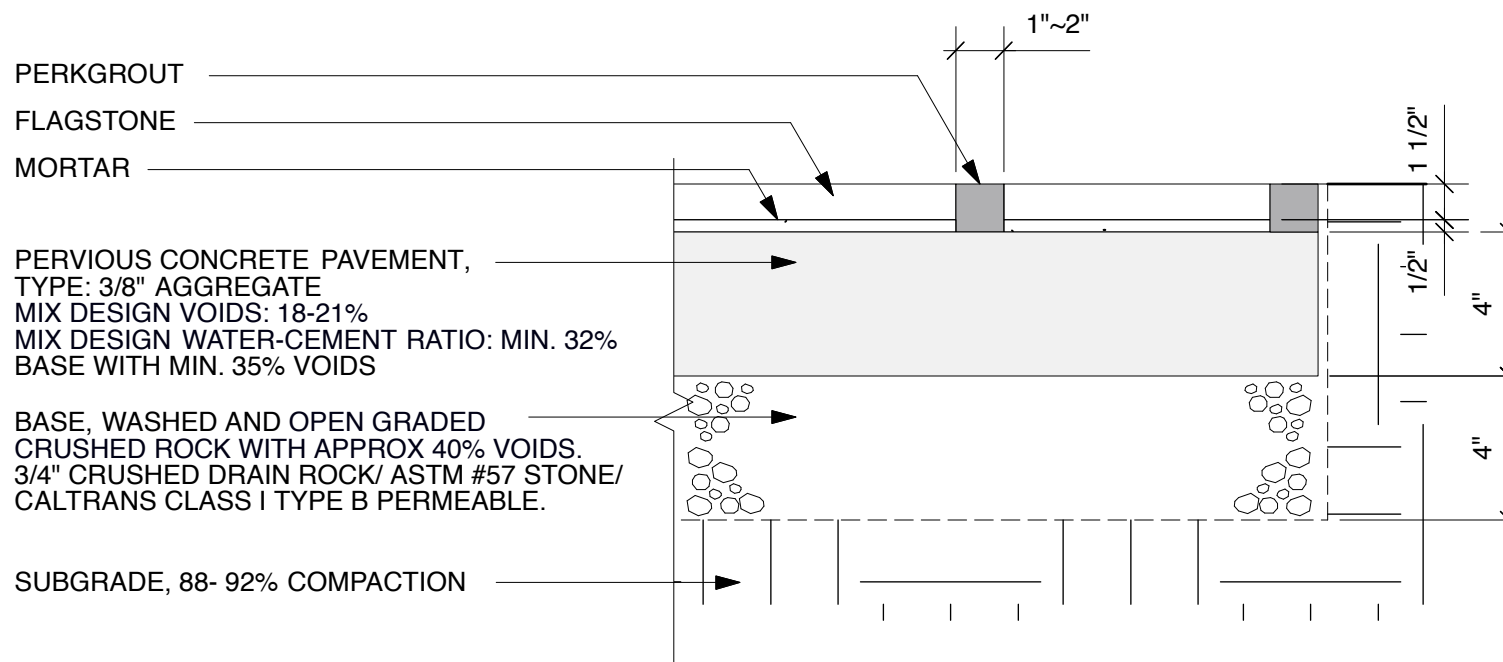
STRUCTURAL ITEMS SHOWN "TO BE REMOVED" SHALL BE VERIFIED WITH ENGINEER FOR APPROPRIATE SHORING (IF APPLICABLE).

CONTRACTOR SHALL VERIFY ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION

ARCHITECT IS NOT RESPONSIBLE FOR REMOVAL OR ABATEMENT OF LEAD PAINT OR ASBESTOS. CONTRACTOR SHALL PROVIDE REMOVAL AND ABATEMENT PER LOCAL JURISDICTION REQUIREMENTS

EXTREME CARE SHALL BE TAKEN REGARDING THE REMOVAL OF:
FINISHES
STRUCTURAL ELEMENTS
MECHANICAL SYSTEMS
PLUMBING SYSTEMS
ELECTRICAL SYSTEMS

EXTREME CARE SHALL BE TAKEN TO VERIFY ALL FIELD CONDITIONS WITH ARCHITECT AND ENGINEER PRIOR TO DEMOLITION



TYP. PERMEABLE PAVER DETAIL

SCALE: 1-1/2" = 1'-0"

SITE PLAN-EXISTING AND PROPOSED

SCALE: 1/8" = 1'-0"

REFERENCE NOTES:

- 01 AS-BUILT VAN-ACCESSIBLE LOADING ZONE TO BE RESTRIPTED TO MATCH (E) UNDER BLD2016-02893. 2% MAX. SLOPE. V.I.F. STRIPING TO BE PAINTED BLUE. HATCH LINES PAINTED AT 36" O.C. MAX. "NO PARKING" PAINTED IN 12" HIGH MIN.
- 02 (E) 12'-0" W. VAN-ACCESSIBLE PARKING SPACE.
- 03 (E) PAINTED INTERNATIONAL SIGN OF ACCESSIBILITY
- 04 (E) ACCESSIBLE PARKING SIGNAGE
- 05 MIN. 48" WIDE PATH OF TRAVEL. 5% MAX. SLOPE V.I.F., 2% MAX. CROSS SLOPE
- 06 (E) DETECTABLE WARNINGS TO BE RELOCATED AND REPLACED W/ NEW
- 07 (E) TOW AWAY SIGNAGE PER 11B-502.8.
- 08 (E) ± 6'-0" H. WOOD FENCE
- 09 (E) 6" H. WOOD FENCE AND GATE TO BE RELOCATED AND REPLACED WITH (N)
- 10 (E) LOCATION OF 95GAL TRASH, 95GAL RECYCLE, AND 95GAL GREEN WASTE CONTAINER CARTS. MIN. 3 PICK UPS A WEEK.
- 11 (E) METERING SWITCHBOARD
- 12 (N) STAIRS WITH WROUGHT HANDRAIL TO MATCH (E)
- 13 (E) EASEMENT FOR INGRESS & EGRESS PARKING
- 14 (E) DOWNSPOUT
- 15 (E) PLANTED AREA TO REMAIN
- 16 (E) PARKING LOT STRIPING
- 17 (E) GROUND COVER TO BE LESS THAN CURB HEIGHT IN THE OVERHANG AREA
- 18 (E) CONCRETE SURFACE
- 19 (N) REMOVABLE GAS FIRE PIT
- 20 (N) RAISED PLANTER - REFER TO LANDSCAPE PLAN
- 21 (E) ROOF TO BE REMOVED
- 22 (N) UPPER LEVEL DECK W/ 42" H. MIN. WROUGHT IRON GUARDRAIL
- 23 (N) JULIET BALCONY
- 24 (N) 3050 TEMPERED GLASS GATE WITH LATCH ONLY
- 25 (N) TRELLIS
- 26 (E) FENCE AND GATE TO BE REMOVED
- 27 (E) STAIRS TO BE REMOVED
- 28 (N) EXTERIOR STAIR TOWER
- 29 (N) EXTERIOR STAIR TOWER ROOF
- 30 (E) PAVING TO BE REPLACED WITH (N) PERMEABLE PAVING. REFER TO PERMEABLE PAVER DETAIL THIS SHEET
- 31 (E) GATE TO BE REMOVED
- 32 (N) 84" H. EMPLOYEE ONLY GATE FOR POOL MAINTENANCE
- 33 (N) 64" H. GATE
- 34 (E) PLANTER TO BE REPLACED WITH (N) PERMEABLE PAVING
- 35 (N) SPA W/ 18" H. & 14" W. TRANSFER WALL, GRAB BARS AND 60"x60" OF TRANSFER SPACE
- 36 (E) GLASS FENCE TO BE REMOVED
- 37 (E) PLANTED AREA TO BE MODIFIED
- 38 (E) 3" H. PONY WALL TO BE REMOVED
- 39 (N) 64" H. GLASS FENCE W/ CURB
- 40 (E) 40" H. WALL TO BE REMOVED
- 41 (E) BENCH TO BE REMOVED
- 42 (E) POOL ENCLOSURE TO BE REMOVED
- 43 (N) PERMEABLE PAVERS- REFER TO PERMEABLE PAVER DETAIL THIS SHEET
- 44 (N) 64" H. SECURITY GLASS FENCE TO MATCH (E)
- 45 (E) LANDING TO BE REPLACED W/ PERMEABLE PAVERS. REFER TO PERMEABLE PAVER DETAIL THIS SHEET
- 46 (N) RAMP, 1:12 MAX. SLOPE, 2% MAX. CROSS SLOPE
- 47 (N) WROUGHT IRON HANDRAIL, 12" MIN. EXTENSIONS
- 48 (N) 60"x60" TOP LANDING, 2% MAX. SLOPE
- 49 (N) 72" MIN. BOTTOM LANDING, 2% MAX. SLOPE, V.I.F.
- 50 (N) OUTDOOR VENTLESS GAS FIREPLACE
- 51 (N) DOWNSPOUT TO MATCH (E)
- 52 (N) 5'-0" H. TEMPERED GLASS WIND SCREEN W/ STEEL POSTS. POWDER COATED TO MATCH (E)
- 53 (E) POOL CORNERS, WATERLINE TILE AND POOL INTERIOR SURFACE TO BE REPLACED WITH (N)
- 54 (N) POOL LIFT
- 55 (E) BIRD OF PARADISE AS A PLANT TO BE REMOVED
- 56 (E) KOELREUTERIA TO BE REMOVED
- 57 (E) PALM TREE TO REMAIN
- 58 (E) CANARY ISLAND DATE PALM WITH TRUNK BELOW 4'-6" AT GRADE TO BE REMOVED
- 59 VISIBILITY AT A DRIVEWAY THAT CROSSES A FRONT PROPERTY LINE SHALL NOT BE BLOCKED ABOVE A HEIGHT OF 42 INCHES WITHIN THE TRIANGLE AREAS. MEASURED ON TWO SIDES BY A DISTANCE OF 10'-0" FROM THE SIDE OF A DRIVEWAY AND 10'-0" BACK FROM THE FRONT LOT LINE
- 60 (E) 84" H. GLASS FENCE TO BE REPLACED WITH (N)
- 61 (N) 84" H. GLASS FENCE
- 62 (N) POT - REFER TO LANDSCAPE PLAN
- 63 (N) 99" H. GLASS FENCE W/ CURB
- 64 (E) HANDRAIL TO BE REPLACED W/ (N) TO MATCH (E)
- 65 (N) PLANTER
- 66 (N) VINE POCKET
- 67 (E) HVAC UNITS
- 68 (E) HOTEL ROOM #4 PATIO TO REMAIN
- 69 (N) ±6'-0" WROUGHT IRON TRELLIS

NOTE:
"NO DISTURBANCE OF THE SUBGRADE" WILL OCCUR FOR ALL AREAS PROPOSED AS MAINTENANCE OF PAVING

TIER 2 SWMP NOTES:
1. DISCONNECT DOWNSPOUTS FROM STORM WATER SYSTEM
2. EXISTING SITE DRAINAGE SHALL REMAIN AND SERVE.
3. (N) PERMEABLE PAVERS.

I RIVEN BARTON, BLUE SANDS LLC., PROPERTY OWNER, WILL INSPECT AND MAINTAIN THE ABOVE LISTED BMP'S COMPLIANCE WITH SBMC 22.87.030.

DATE: _____

EXTERIOR AND INTERIOR ALTERATIONS
TO EXISTING HOTEL.

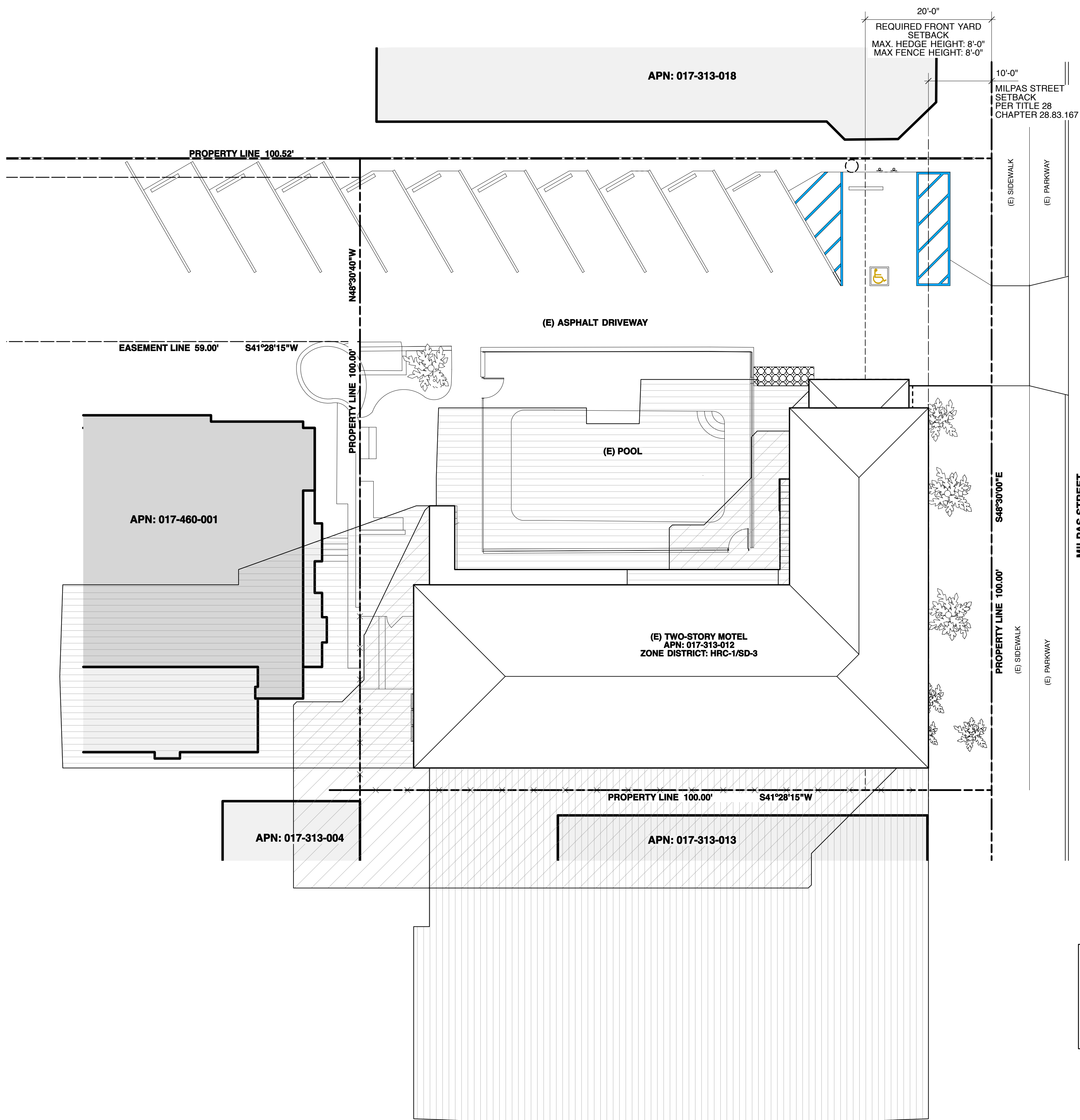
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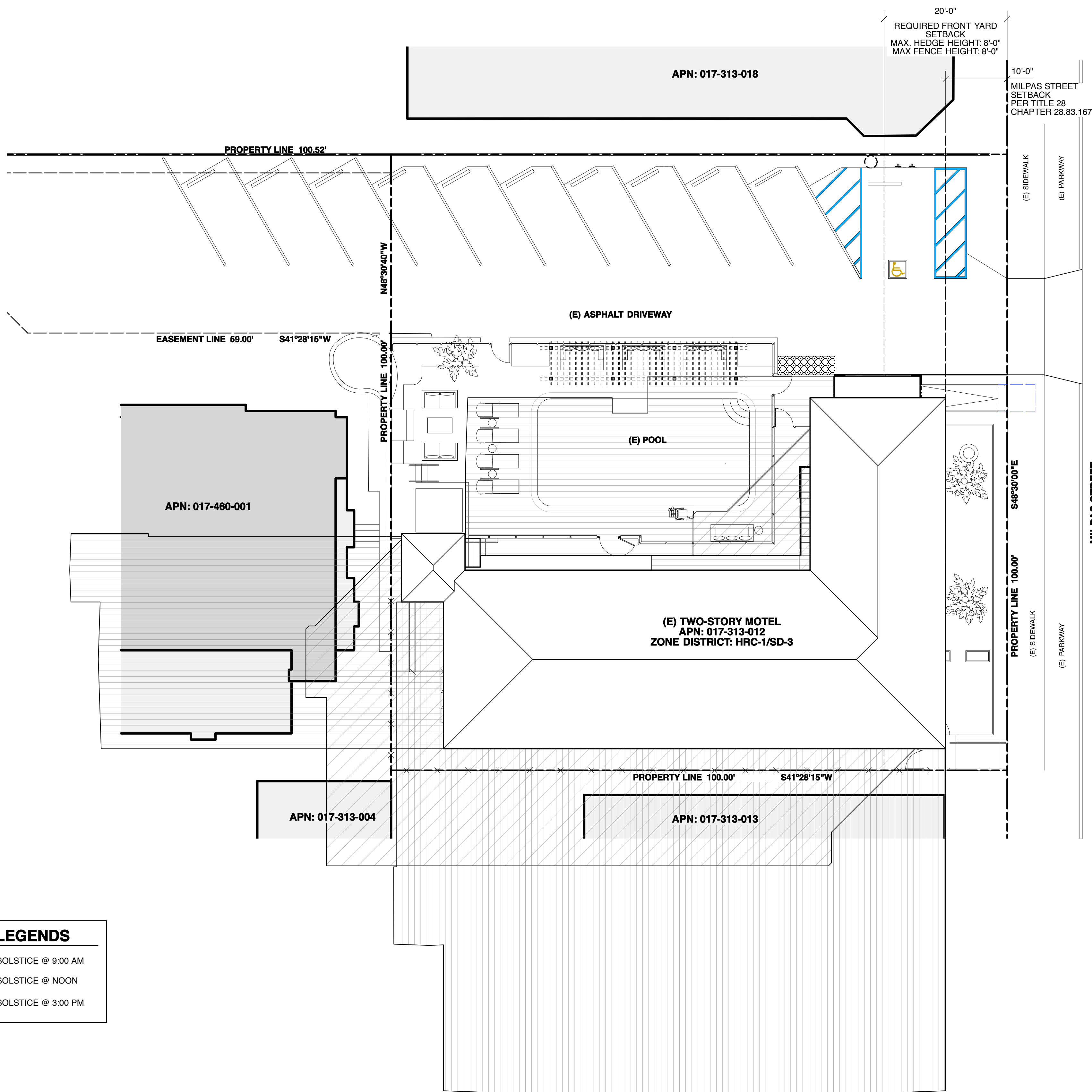
DR. SANTA BARBARA SHERRY
ARCHITECTS
PO BOX 23634
SANTA BARBARA, CA 93121
TEL: (805) 963-0986
FAX: (805) 963-0178
WWW.DANSHERRY.COM

T 2.0

SITE PLAN - EXISTING & PROPOSED



SHADOW DIAGRAM - EXISTING
SCALE: 1" = 10'-0"



SHADOW DIAGRAM - PROPOSED
SCALE: 1" = 10'-0"

EXTERIOR AND INTERIOR ALTERATIONS
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DAWN@DAWNHERRY.COM

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| 09/28/21 | ABR RESUBMITTAL |

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SHADOW DIAGRAM - EXISTING & PROPOSED

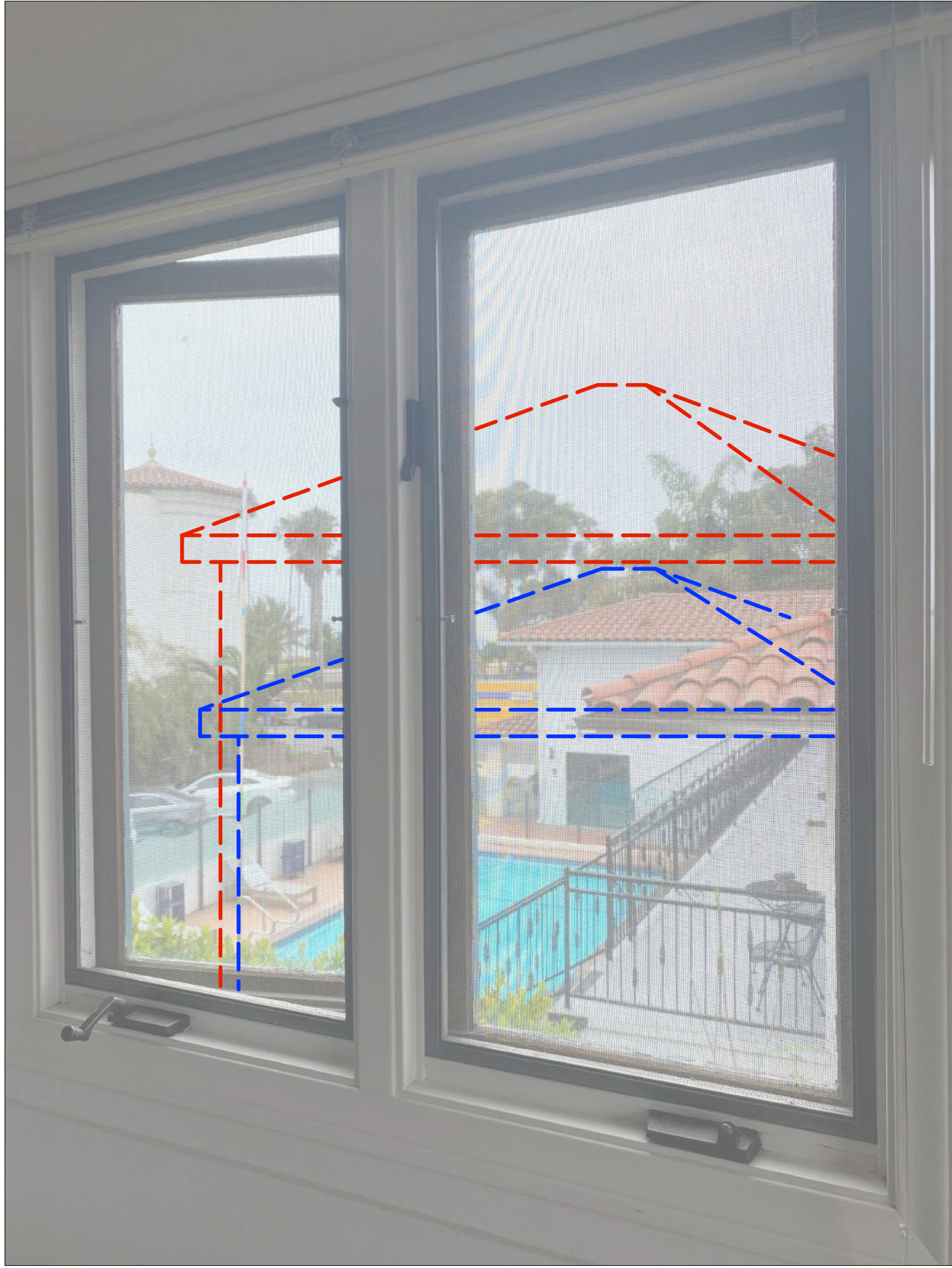


PHOTO VIEW STUDY FROM THE BEDROOM OF THE ADJACENT STRUCTURE.

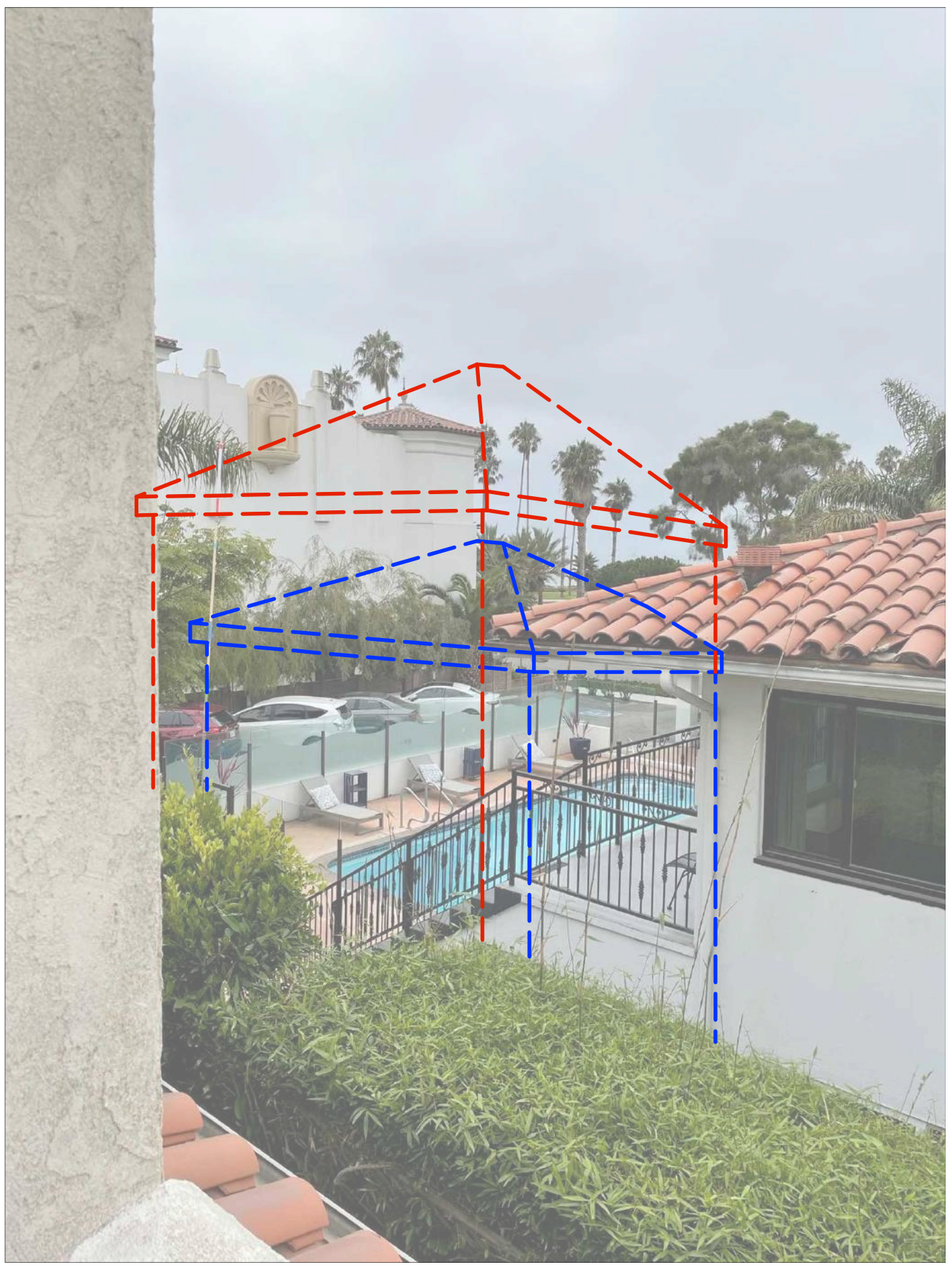
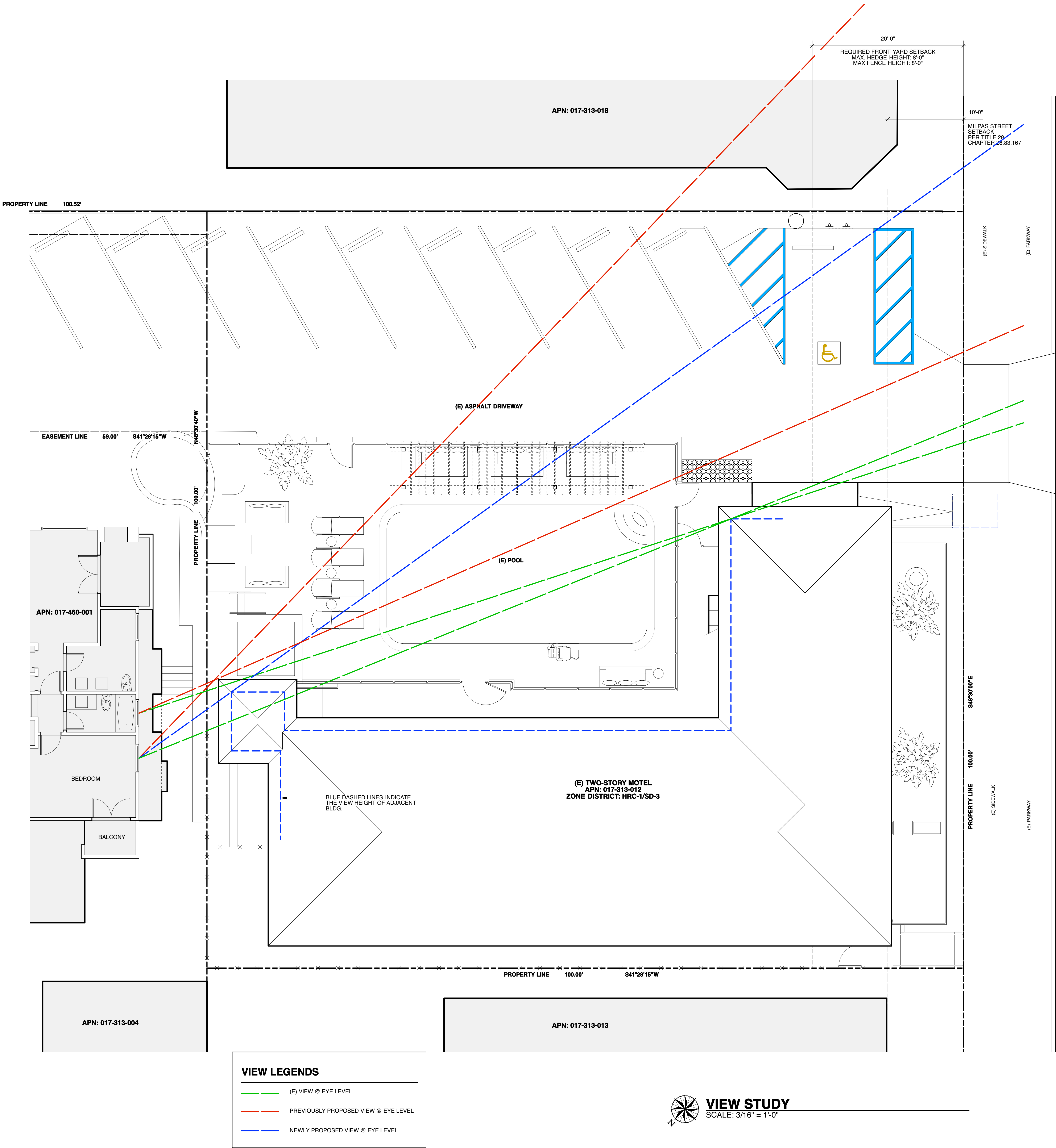
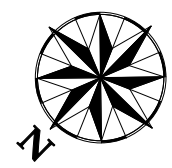
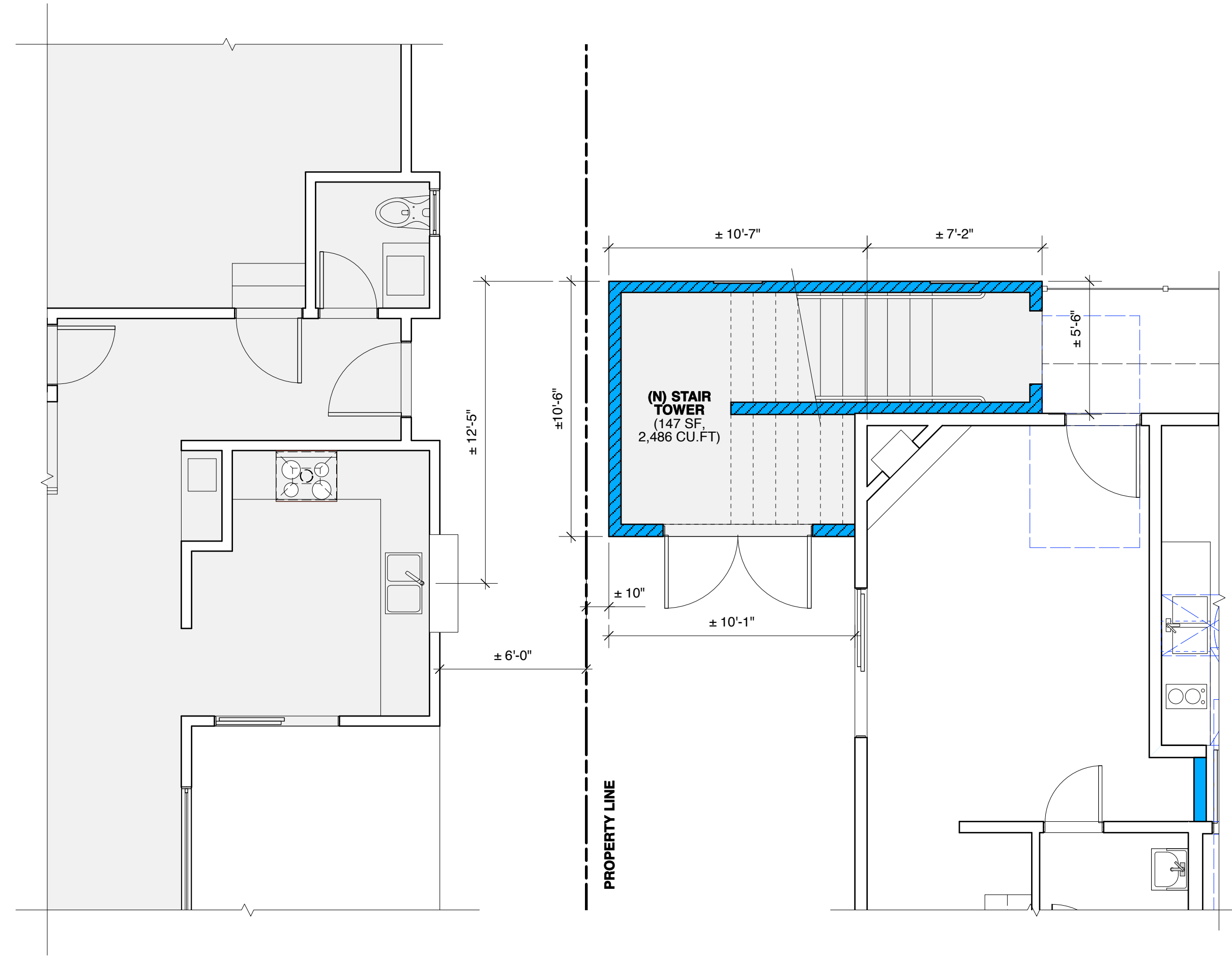
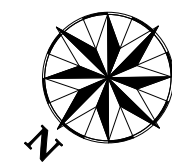
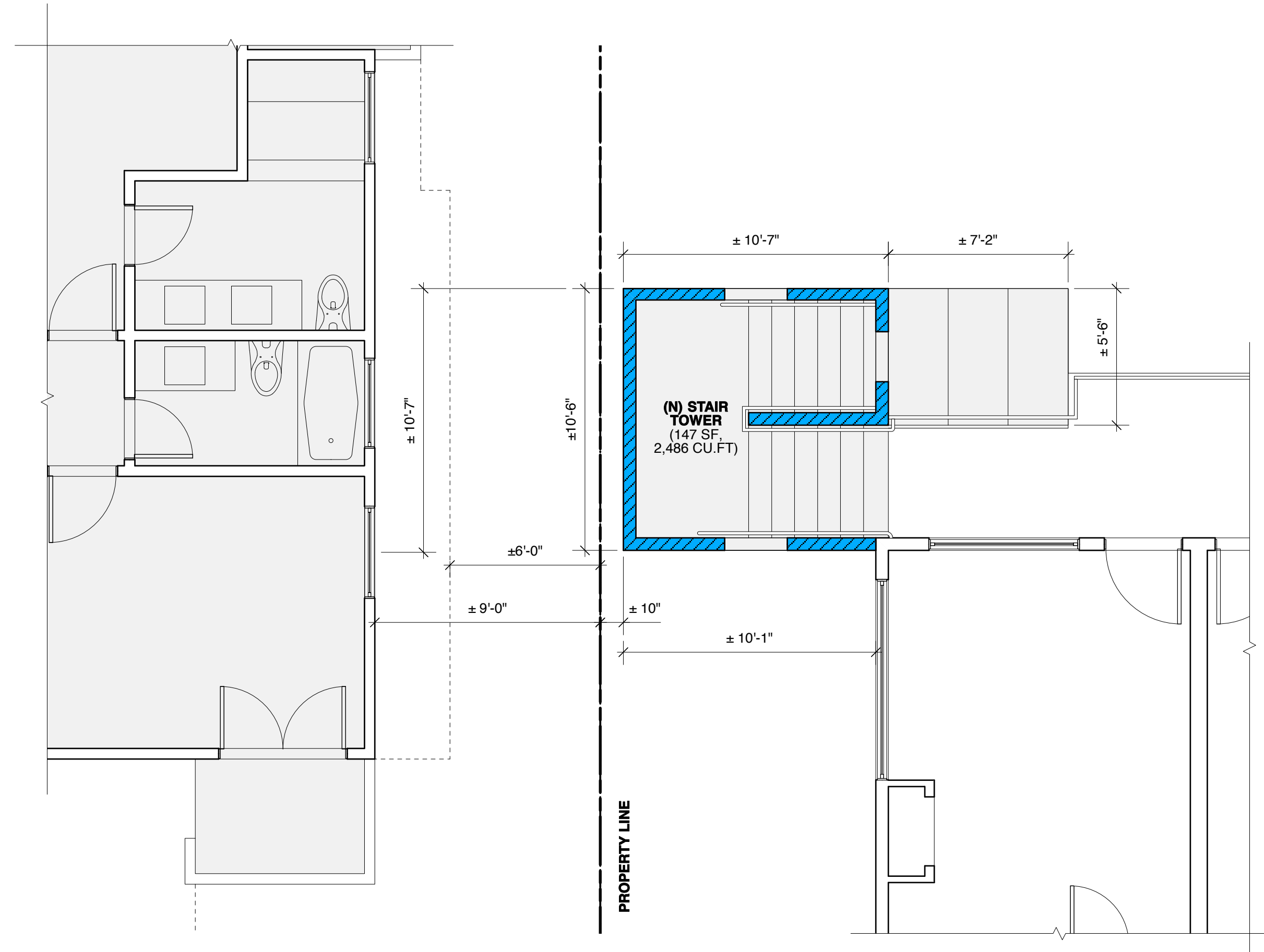


PHOTO VIEW STUDY FROM THE BALCONY OF THE ADJACENT STRUCTURE.

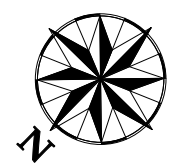
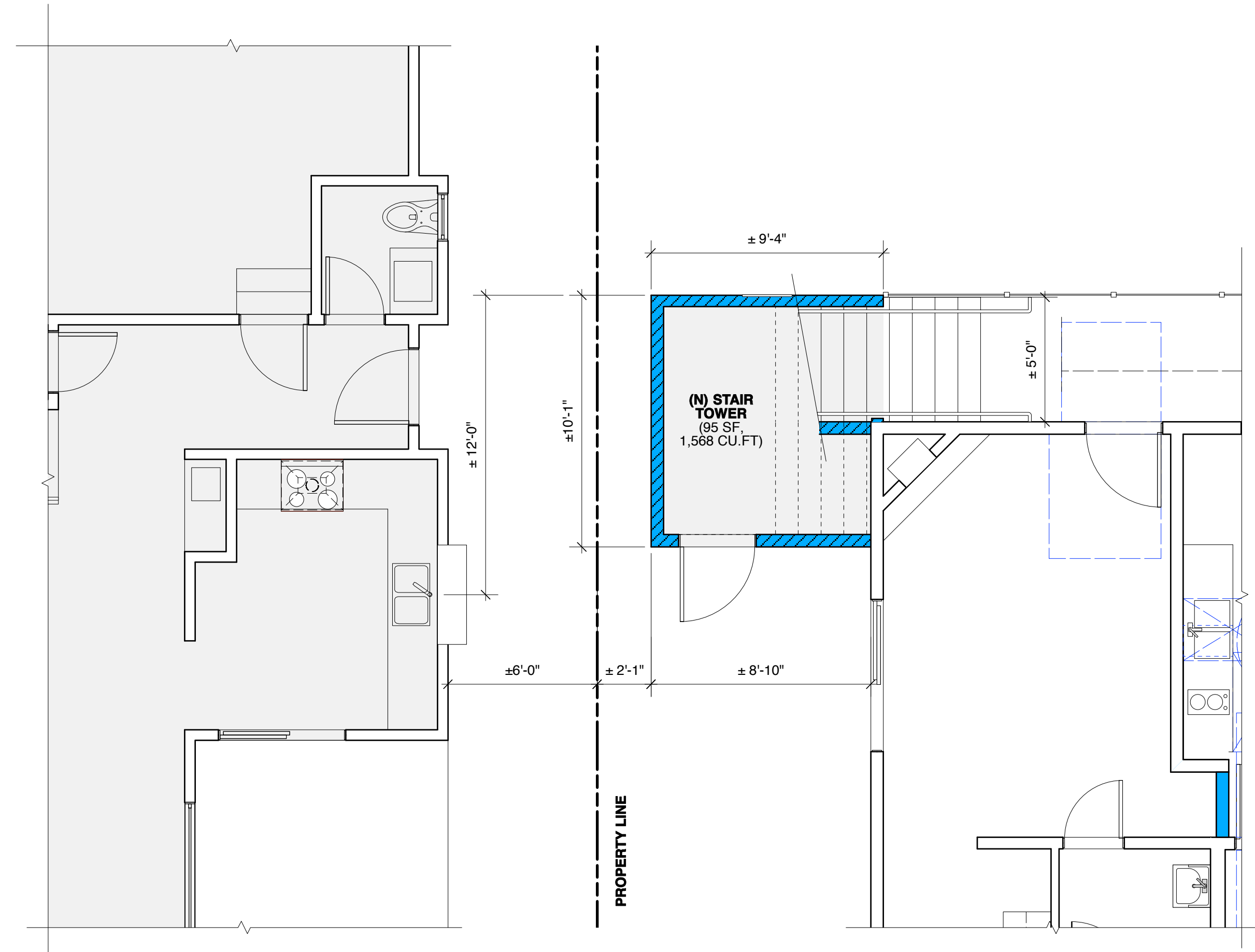




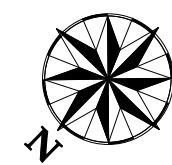
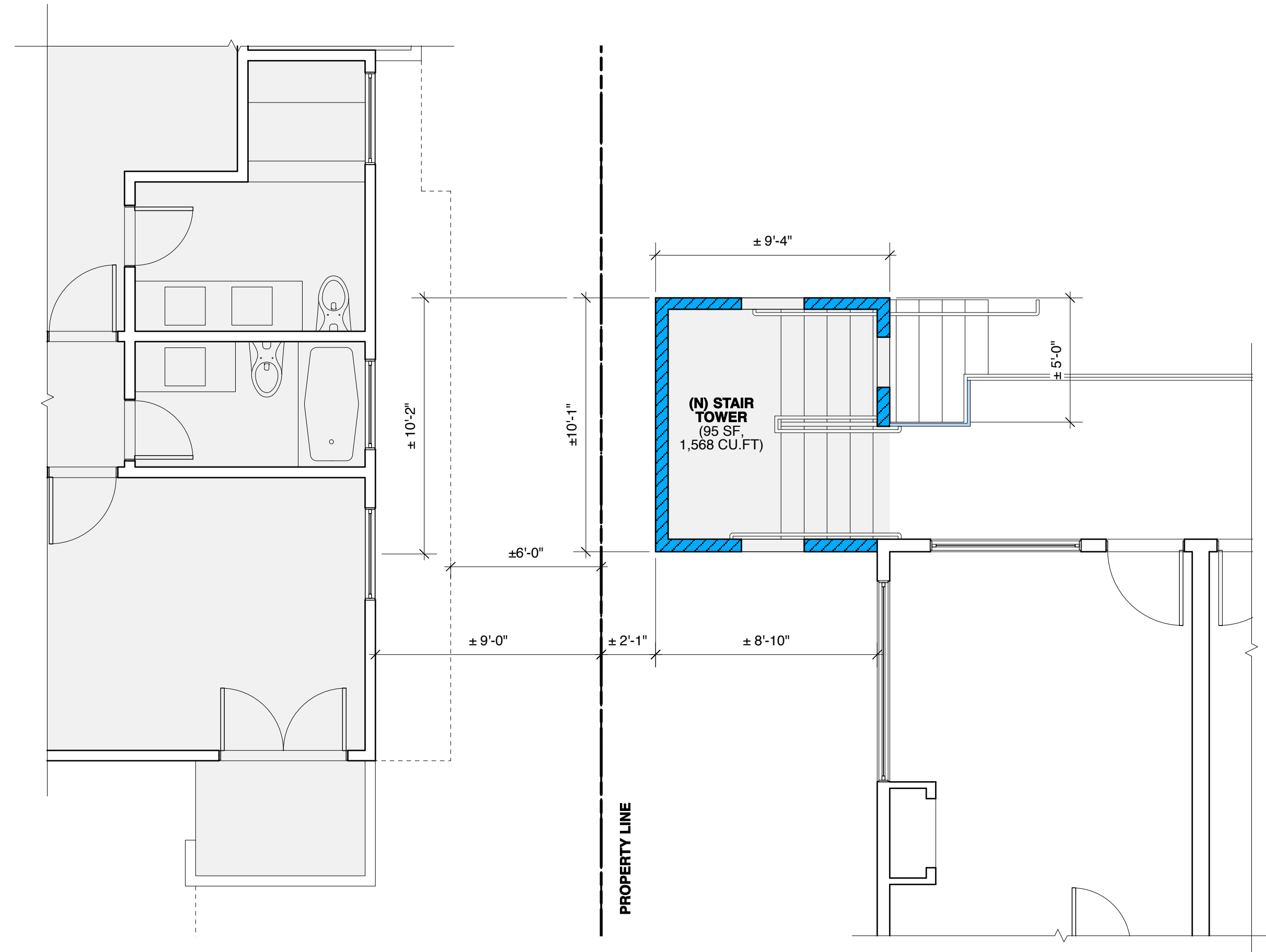
PARTIAL STAIR TOWER LOWER LEVEL PLAN - PREVIOUSLY PROPOSED
SCALE: 1/4" = 1'-0"



PARTIAL STAIR TOWER UPPER LEVEL PLAN - PREVIOUSLY PROPOSED
SCALE: 1/4" = 1'-0"



PARTIAL STAIR TOWER LOWER LEVEL PLAN - NEWLY PROPOSED
SCALE: 1/4" = 1'-0"



PARTIAL STAIR TOWER UPPER LEVEL PLAN - NEWLY PROPOSED
SCALE: 1/4" = 1'-0"

EXTERIOR AND INTERIOR ALTERATIONS
TO EXISTING HOTEL.

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SANTA BARBARA, CA

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WWW.DAWNHERRY.COM

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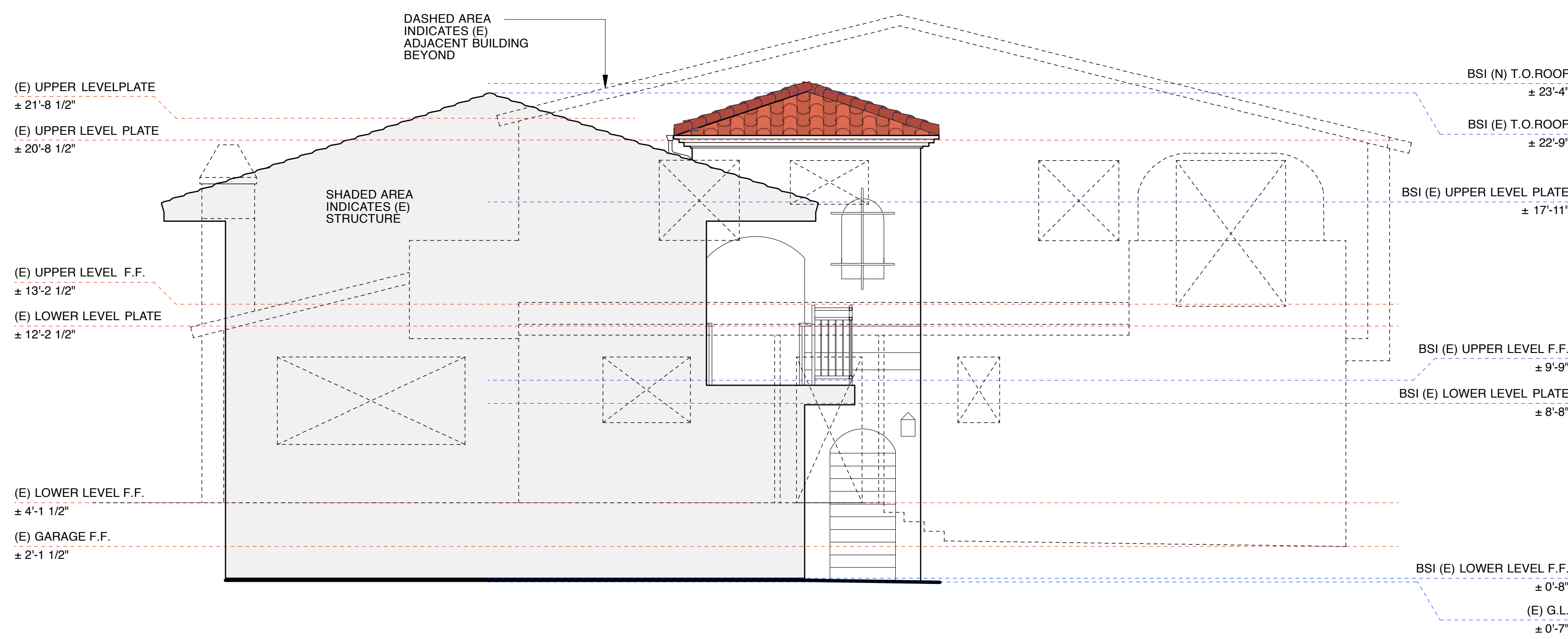
FLOOR PLAN COMPARISON -
PREVIOUSLY & NEWLY PROPOSED

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STAIR TOWER SOUTH ELEVATION - PREVIOUSLY PROPOSED

SCALE: 1/4" = 1'-0"



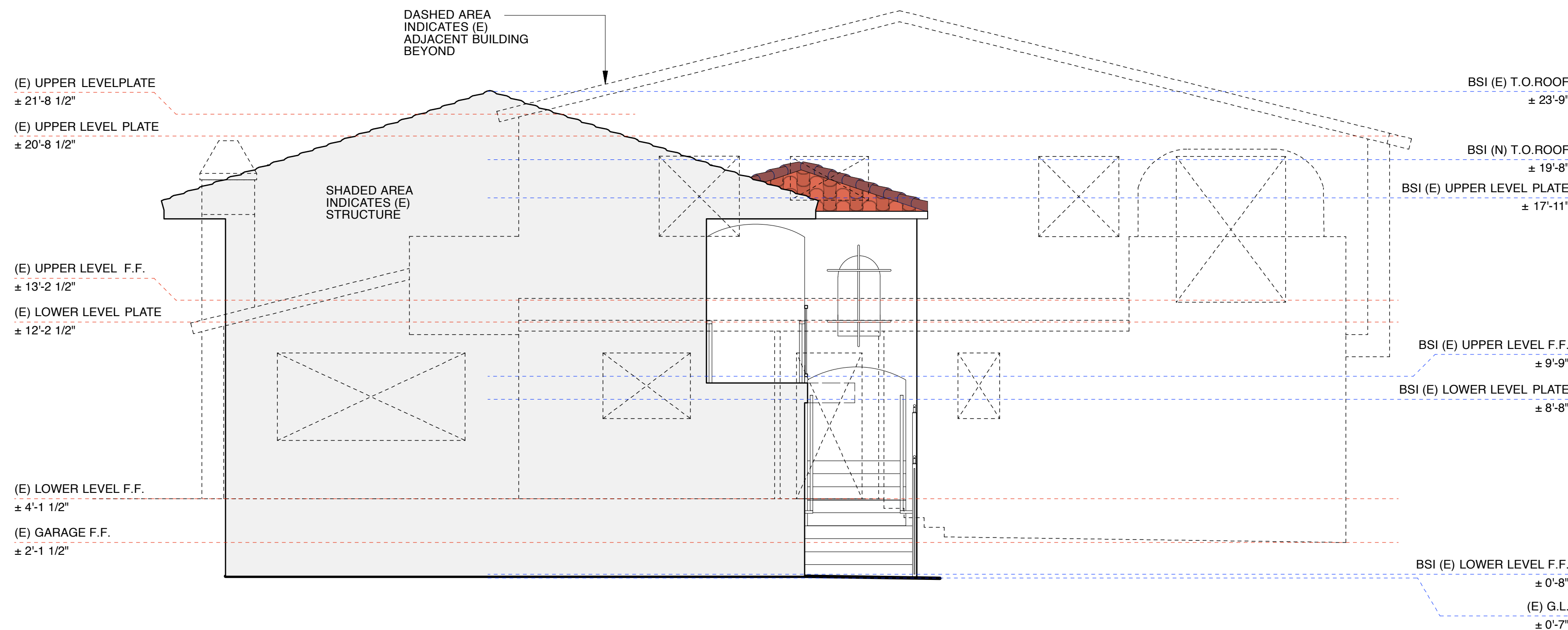
STAIR TOWER WEST ELEVATION - PREVIOUSLYLY PROPOSED

SCALE: 1/4" = 1'-0"



STAIR TOWER SOUTH ELEVATION - NEWLY PROPOSED

SCALE: 1/4" = 1'-0"



STAIR TOWER WEST ELEVATION - NEWLY PROPOSED

SCALE: 1/4" = 1'-0"

EXTERIOR AND INTERIOR ALTERATIONS
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| 09/28/21 | ABR RESUBMITTAL |

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ELEVATION COMPARISON -
PREVIOUSLY & NEWLY PROPOSED

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VIEW 01 - PREVIOUSLY PROPOSED



VIEW 01 - NEWLY PROPOSED



VIEW 02 - PREVIOUSLY PROPOSED



VIEW 02 - NEWLY PROPOSED

EXTERIOR AND INTERIOR ALTERATIONS
TO EXISTING HOTEL.

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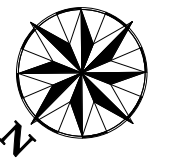
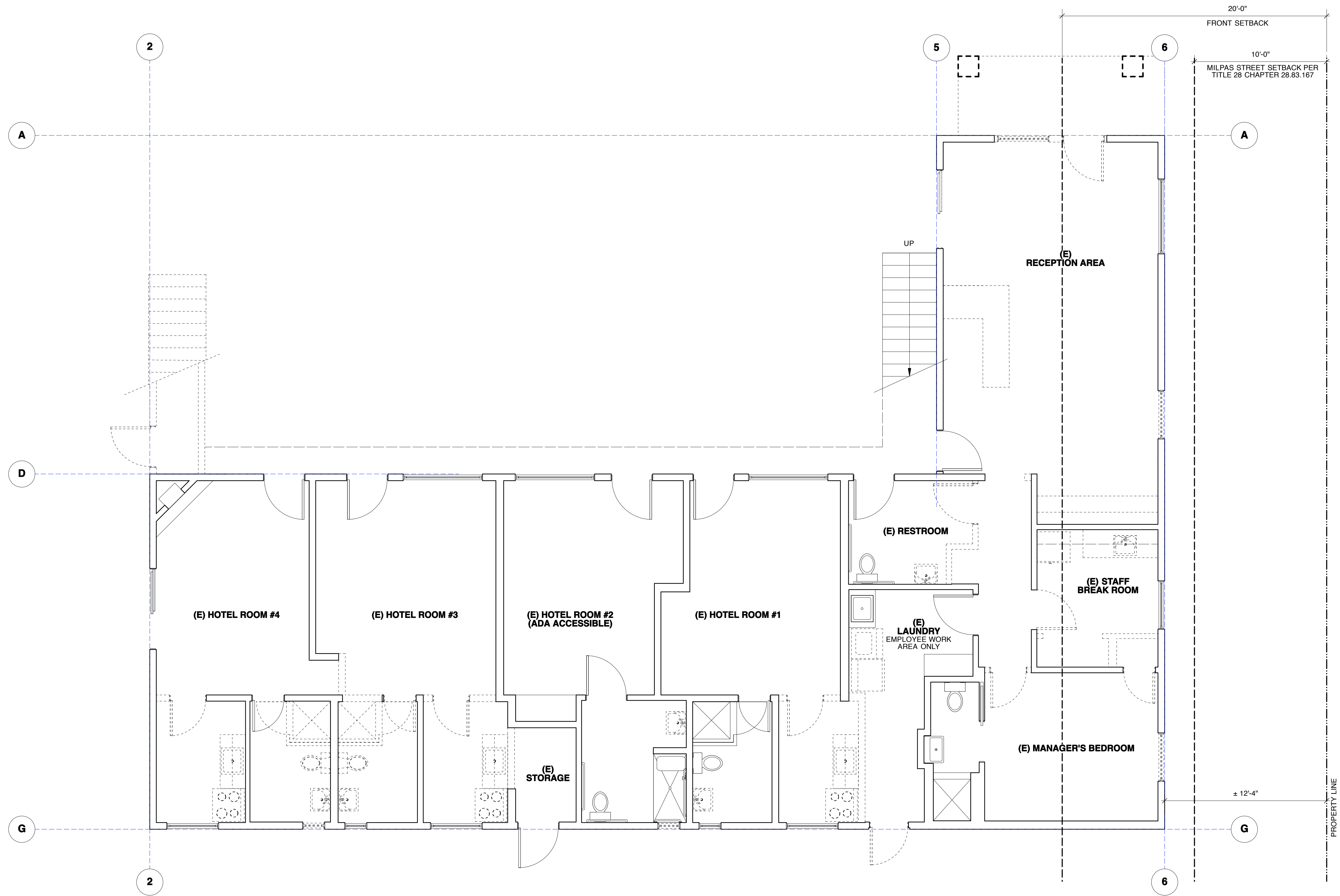
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3D IMAGE COMPARISON -
PREVIOUSLY & NEWLY PROPOSED

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LOWER LEVEL FLOOR PLAN-EXISTING / DEMOLITION
SCALE: 1/4" = 1'-0"

DEMOLITION GENERAL NOTES

ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY REGARDING NON-BEARING / BEARING WALLS. NO BEARING WALLS SHALL BE REMOVED WITHOUT ARCHITECT / STRUCTURAL ENGINEER REVIEW AND APPROVAL.

DEMOLITION SHALL BE LIMITED TO THE SPECIFIC DAYS AND HOURS OF CONSTRUCTION AS SET FORTH BY THE DEPARTMENT OF BUILDING AND SAFETY, CITY OF SANTA BARBARA

NO DEMOLITION WORK SHALL BE COMMENCED PRIOR TO OWNER AUTHORIZATION AND REVIEW OF THESE PLANS. OWNER VERIFICATION OF EXTENT OF DEMOLITION, OR CITY OF SANTA BARBARA BUILDING DEPARTMENT APPROVAL.

NON-STRUCTURAL WALLS "TO BE REMOVED" SHALL BE VERIFIED WITH ENGINEER PRIOR TO REMOVAL

CONTRACTOR SHALL VERIFY ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION

ARCHITECT IS NOT RESPONSIBLE FOR REMOVAL OR ABATEMENT OF LEAD PAINT OR ASBESTOS. CONTRACTOR SHALL PROVIDE REMOVAL AND ABATEMENT PER LOCAL JURISDICTION REQUIREMENTS

EXTREME CARE SHALL BE TAKEN REGARDING THE REMOVAL OF:
FINISHES
MECHANICAL SYSTEMS
PLUMBING SYSTEMS
ELECTRICAL SYSTEMS

EXTREME CARE SHALL BE TAKEN TO VERIFY ALL FIELD CONDITIONS WITH ARCHITECT AND ENGINEER PRIOR TO DEMOLITION

NO STRUCTURAL WALLS OR ELEMENTS SHALL BE DEMOLISHED WITHOUT PROPER SHORING, AS PROVIDED BY THE STRUCTURAL ENGINEER.

NOTE:
CONTRACTOR TO VERIFY EXACT SCOPE OF WITH OWNER AND ARCHITECT PRIOR TO DEMOLITION. SCOPE OF WORK TO INCLUDE:

WALL LEGEND

- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED

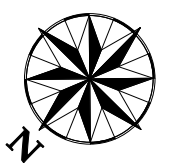
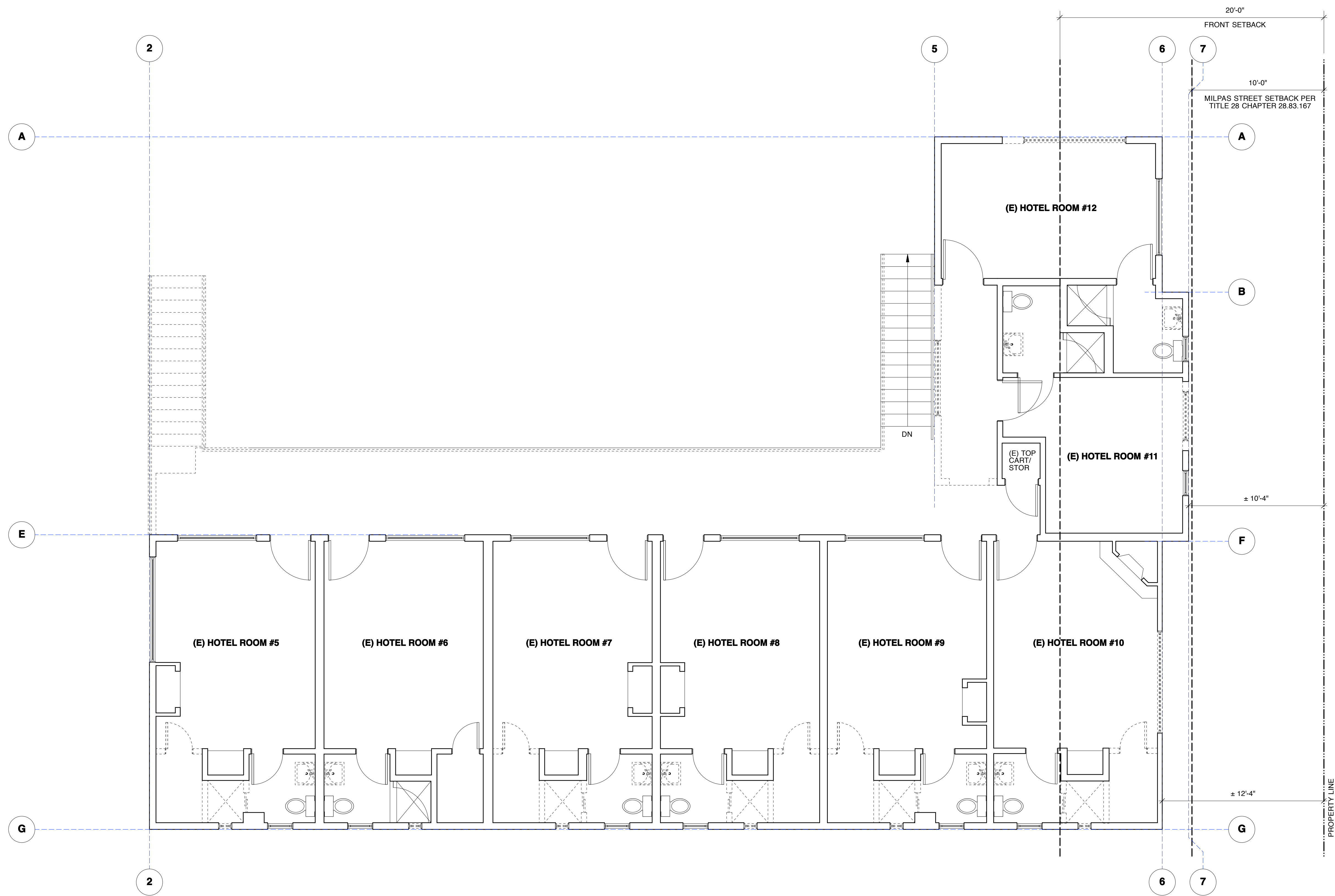
EXTERIOR AND INTERIOR ALTERATIONS
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UPPER LEVEL FLOOR PLAN-EXISTING / DEMOLITION
SCALE: 1/4" = 1'-0"

DEMOLITION GENERAL NOTES

ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY REGARDING NON-BEARING / BEARING WALLS. NO BEARING WALLS SHALL BE REMOVED WITHOUT ARCHITECT / STRUCTURAL ENGINEER REVIEW AND APPROVAL.

DEMOLITION SHALL BE LIMITED TO THE SPECIFIC DAYS AND HOURS OF CONSTRUCTION AS SET FORTH BY THE DEPARTMENT OF BUILDING AND SAFETY, CITY OF SANTA BARBARA

NO DEMOLITION WORK SHALL BE COMMENCED PRIOR TO OWNER AUTHORIZATION AND REVIEW OF THESE PLANS. OWNER VERIFICATION OF EXTENT OF DEMOLITION, OR CITY OF SANTA BARBARA BUILDING DEPARTMENT APPROVAL.

NON-STRUCTURAL WALLS "TO BE REMOVED" SHALL BE VERIFIED WITH ENGINEER PRIOR TO REMOVAL

CONTRACTOR SHALL VERIFY ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION

ARCHITECT IS NOT RESPONSIBLE FOR REMOVAL OR ABATEMENT OF LEAD PAINT OR ASBESTOS. CONTRACTOR SHALL PROVIDE REMOVAL AND ABATEMENT PER LOCAL JURISDICTION REQUIREMENTS

EXTREME CARE SHALL BE TAKEN REGARDING THE REMOVAL OF:
FINISHES
MECHANICAL SYSTEMS
PLUMBING SYSTEMS
ELECTRICAL SYSTEMS

EXTREME CARE SHALL BE TAKEN TO VERIFY ALL FIELD CONDITIONS WITH ARCHITECT AND ENGINEER PRIOR TO DEMOLITION

NO STRUCTURAL WALLS OR ELEMENTS SHALL BE DEMOLISHED WITHOUT PROPER SHORING, AS PROVIDED BY THE STRUCTURAL ENGINEER.

NOTE:
CONTRACTOR TO VERIFY EXACT SCOPE OF WITH OWNER AND ARCHITECT PRIOR TO DEMOLITION. SCOPE OF WORK TO INCLUDE:

WALL LEGEND

- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED

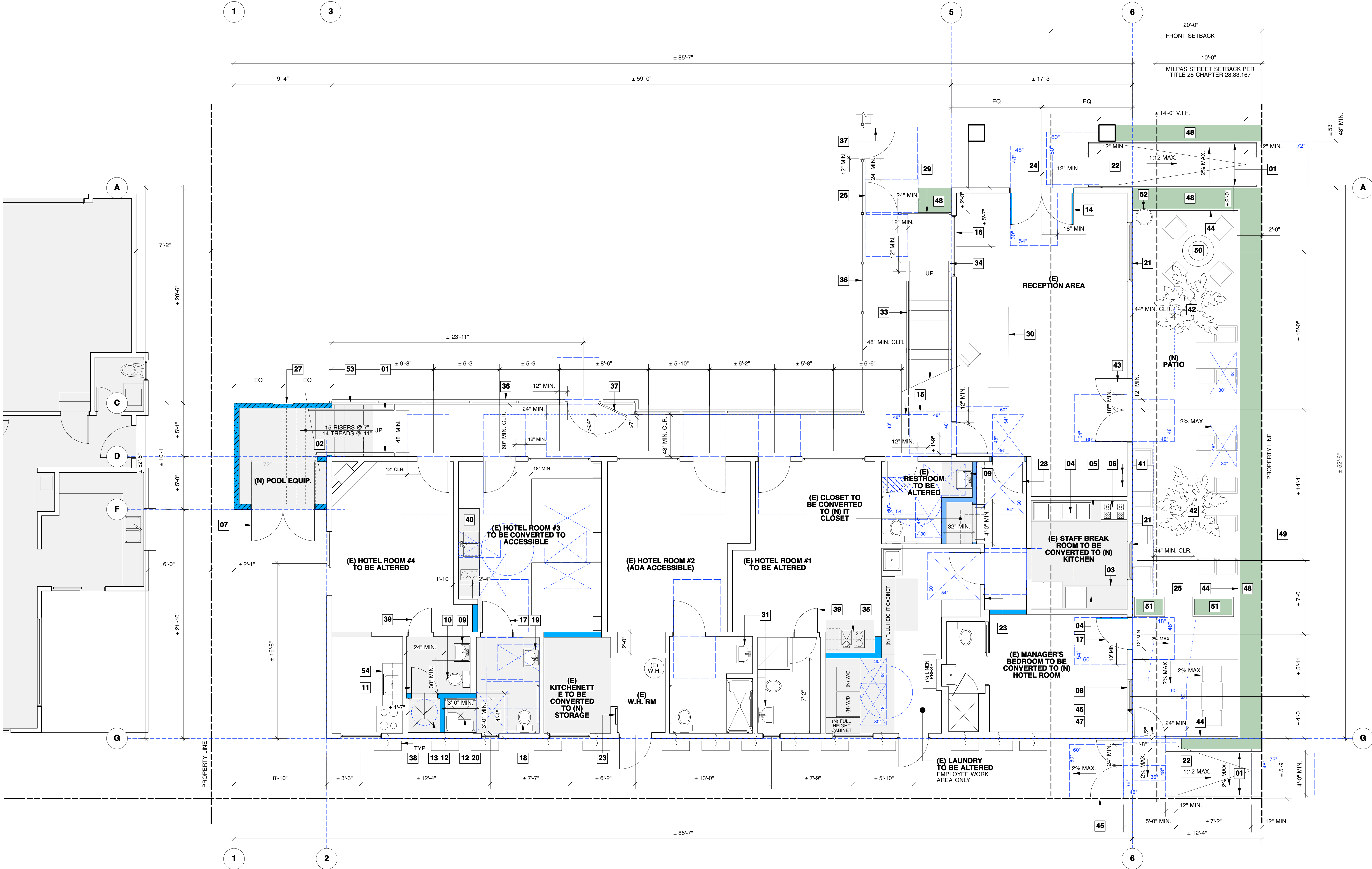
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FLOOR PLAN GENERAL NOTES:

ALL EXTERIOR OPENINGS SHALL BE FLASHED IN ORDER TO MAKE THEM WATERPROOF.
ALL CONCEALED PLUMBING JOINTS SHALL BE NON-SLIP CONNECTIONS.
PROVIDE ACCESS PANEL (MIN. 12" X 12") OR UTILITY SPACE FOR ALL PLUMBING FIXTURES HAVING CONCEALED SLIP-JOIN CONNECTIONS.
PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THE QUICK-ACTING VALVES FROM THE WASHER AND DISHWASHER PER U.B.C. SECTION 609.10.
WATER PRESSURE IN BUILDING SHALL BE LIMITED TO 80 P.S.I. OR LESS.
ALL PLUMBING WALLS SHALL BE 2 X 6 STUDS.
NO GAS PIPING SHALL BE INSTALLED IN OR ON THE GROUND, UNDER ANY BUILDING OR STRUCTURE. ALL EXPOSED GAS PIPING SHALL BE KEPT AT LEAST SIX (6) INCHES ABOVE GRADE OR STRUCTURE.
ALL HOSE BIBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE APPROVED BACKFLOW PREVENTION DEVICES. FIELD VERIFY AND RELOCATE AS REQUIRED TO ACCOMMODATE DEMOLITION AND NEW CONSTRUCTION.
WINDOW AND DOOR NOTES:
VERIFY ALL NEW & EXISTING WINDOWS AND DOORS (TYPES, MATERIAL, DIRECTION OF OPERABILITY, IF ANY, ETC.) WITH OWNER & ARCHITECT PRIOR TO PURCHASE AND INSTALLATION.
ALL DOORS AND WINDOWS ARE EXISTING TO REMAIN, UNLESS NOTED OTHERWISE.
ALL NEW EXTERIOR FRENCH DOORS AND WINDOWS SHALL BE DUAL GLAZED W/ MIN. OF ONE TEMPERED PANE, LOW E.
GLAZING WITHIN 18" OF FINISH FLOOR SHALL BE TEMPERED GLASS.

EGRESS WINDOW NOTES:

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.
ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.
THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.
THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.
THE MAXIMUM SILL HEIGHT SHALL BE 44 INCHES A.F.F. TO ACTUAL WINDOW OPENING.

PLUMBING NOTES:

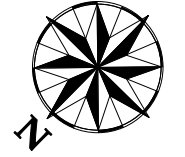
ALL PLUMBING FIXTURES ON PLAN ARE EXISTING U.N.O.
ALL NEW PLUMBING FIXTURES SHOWN ON PLAN TO BE TIED INTO EXISTING WATER/SEWER SYSTEMS LOCATED ON PARCEL.
ALL NEW PLUMBING FIXTURES TO BE WATER CONSERVING DEVICES AND MUST MEET THE RESTRICTED FLOW REQUIREMENTS OF BELOW.
NON-COMPLIANT (E) PLUMBING FIXTURES SHALL BE REPLACED TO COMPLY WITH CURRENT CPC AND CALIFORNIA GREEN BUILDING STANDARD REQUIREMENTS PER 2013 CGC 1101
WATER CLOSETS, EITHER FLUSH TANK, FLUSHOMETER TANK, OR FLUSHOMETER VALVE OPERATED, SHALL HAVE AN AVERAGE CONSUMPTION OF NOT MORE THAN 1.28 GALLONS OF WATER PER FLUSH. LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.5 GPM AT 80 PSI. KITCHEN FAUCETS: MAX. 1.8 GPM AT 60 PSI. SHOWERHEADS: MAX. 2.0 GPM AT 80 PSI AND MULTIPLE SHOWERHEADS SERVING ONE SHOWER SHALL HAVE A COMBINED FLOW RATE OF 4.0 GPM AT 80 PSI. - 2013 CALIFORNIA GREEN BUILDING STANDARD SECTION 4.303 AND 2013 CPC SECTION 403 AND 408
PROVIDE PRESSURE BALANCING VALVES AT ALL SHOWERS

SHOWER NOTES:

1. SHOWER FLOOR AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
2. SHOWER RECEPTOR SHALL BE WATER TIGHT AND SHALL BE CONSTRUCTED FROM APPROVED-TYPE DENSE, NONABSORBENT, AND NONCORROSIVE MATERIALS. EACH RECEPTOR SHALL BE ADEQUATELY REINFORCED. SHALL BE PROVIDED WITH AN APPROVED FLANGED FLOOR DRAIN DESIGNED TO MAKE A WATER TIGHT JOINT IN THE FLOOR, AND SHALL HAVE SMOOTH, IMPERVIOUS, AND DURABLE SURFACES. SHOWER LINING AND RECEPTORS TO COMPLY WITH CPC 2013 SECTION 408.7

SMOKE ALARM NOTES:

PER 2013 CBC 907.1.11.1 GROUP R-1, SINGLE- OR MULTIPLE STATION SMOKE ALARMS SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS IN GROUP R-1:
1. IN SLEEPING AREAS.
2. IN EVERY ROOM IN THE PATH OF THE MEANS OF EGRESS FROM THE SLEEPING AREA TO THE DOOR LEADING FROM THE SLEEPING UNIT.
3. IN EACH STORY WITHIN THE SLEEPING UNIT, INCLUDING BASEMENTS, FOR SLEEPING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL, PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.



LOWER LEVEL FLOOR PLAN-NEWLY PROPOSED

SCALE: 1/4" = 1'-0"

FLOOR PLAN REFERENCE NOTES:

- (N) WROUGHT IRON HANDRAILS
- (N) STAIRS
- (N) COUNTER W/ STORAGE BELOW
- (N) UPPER CABINETS
- (N) COUNTER W/ SINKS
- (N) RANGE W/ HOOD
- (N) 6046 DOOR
- (N) WINDOW WITH SHUTTER
- RELOCATED AND REPLACED (E) SINK WITH (N)
- RELOCATED (E) TOILET
- (N) 30" SHATTERPROOF GLASS SHOWER DOOR
- (N) SHOWER
- 30" DIA. MIN. CLEARANCE
- (N) 6070 DOOR
- VERIFY 6'-8" MIN. HEAD CLEARANCE @ DOOR ACCESS/PUSH SIDE CLEARANCE IN FIELD
- (E) 51068 SLIDER TO BE REPLACED WITH (N) 6034 WINDOW
- (N) 3068 DOOR
- (N) TOILET
- (N) SINK
- (N) TRANSFER TYPE SHOWER
- (E) WINDOW WITH (N) SHUTTERS
- (N) RAMP, 1:12 MAX. SLOPE, 2% MAX. CROSS SLOPE
- (E) ELEC. PANEL TO REMAIN
- (E) CONCRETE LANDING TO BE REPLACED WITH (N) PERMEABLE PAVERS
- (N) PERMEABLE PAVERS
- (N) GATE
- (N) FAUX OPENING
- (N) 3068 DOOR W/ CLOSER OR LATCH
- (N) #64" H. GLASS FENCE
- (E) COUNTER TO BE RELOCATED AND REPLACED WITH (N)
- (E) SINK TO BE REPLACED WITH (N)
- NOT USED
- (E) WROUGHT IRON GUARDRAIL AND HANDRAIL TO BE REPLACED WITH (N)
- (N) WROUGHT IRON HANDRAIL EXTENSION
- (E) KITCHENETTE TO BE REPLACED AND RELOCATED W/ (N) KITCHENETTE WITH SINK, COOKTOP, UNDERCOUNTER REFRIGERATOR AND UPPER CABINETS
- (E) #64" GLASS POOL FENCE TO BE RELOCATED AND REPLACED WITH (N) 64" H. FENCE W/ CURB
- (N) POOL GATE
- (E) HVAC UNITS
- SWING DIRECTION OF (E) DOOR TO BE CHANGED
- (E) KITCHENETTE TO BE REPLACED AND RELOCATED W/ (N) ACCESSIBLE KITCHENETTE WITH SINK, COOKTOP, MICROWAVE, UNDERCOUNTER REFRIGERATOR AND CABINETS
- (E) CABINETS TO BE REMOVED
- (E) PALM TREE TO REMAIN
- (E) WINDOW TO BE REPLACED WITH (N) 6068 DOOR
- (N) 5'-0" H. TEMPERED GLASS WIND SCREEN W/ STEEL POSTS, POWDER COATED TO MATCH (E)
- (E) 6" H. WOOD FENCE AND GATE TO BE RELOCATED AND REPLACED WITH (N)
- (N) 3050 TEMPERED GLASS GATE WITH LATCH ONLY
- (N) BEVELED CHANGE IN LEVEL, 1/2" H. MAX.
- (N) PLANTER
- (E) SIDEWALK
- (N) REMOVABLE GAS FIRE PIT
- (N) RAISED PLANTER - REFER TO LANDSCAPE PLAN
- (N) POT - REFER TO LANDSCAPE PLAN
- (N) #99" H. GLASS FENCE W/ CURB
- (E) KITCHENETTE TO BE REPLACED WITH (N)

WALL LEGEND

- (E) WALL TO REMAIN
- (N) 2x STUD PARTITION WALL
- (N) 2x STUD EXTERIOR WALL
- SHADED AREA INDICATES AREA OF PROPOSED ALTERATION WORK

EXTERIOR AND INTERIOR ALTERATIONS
TO EXISTING HOTEL.

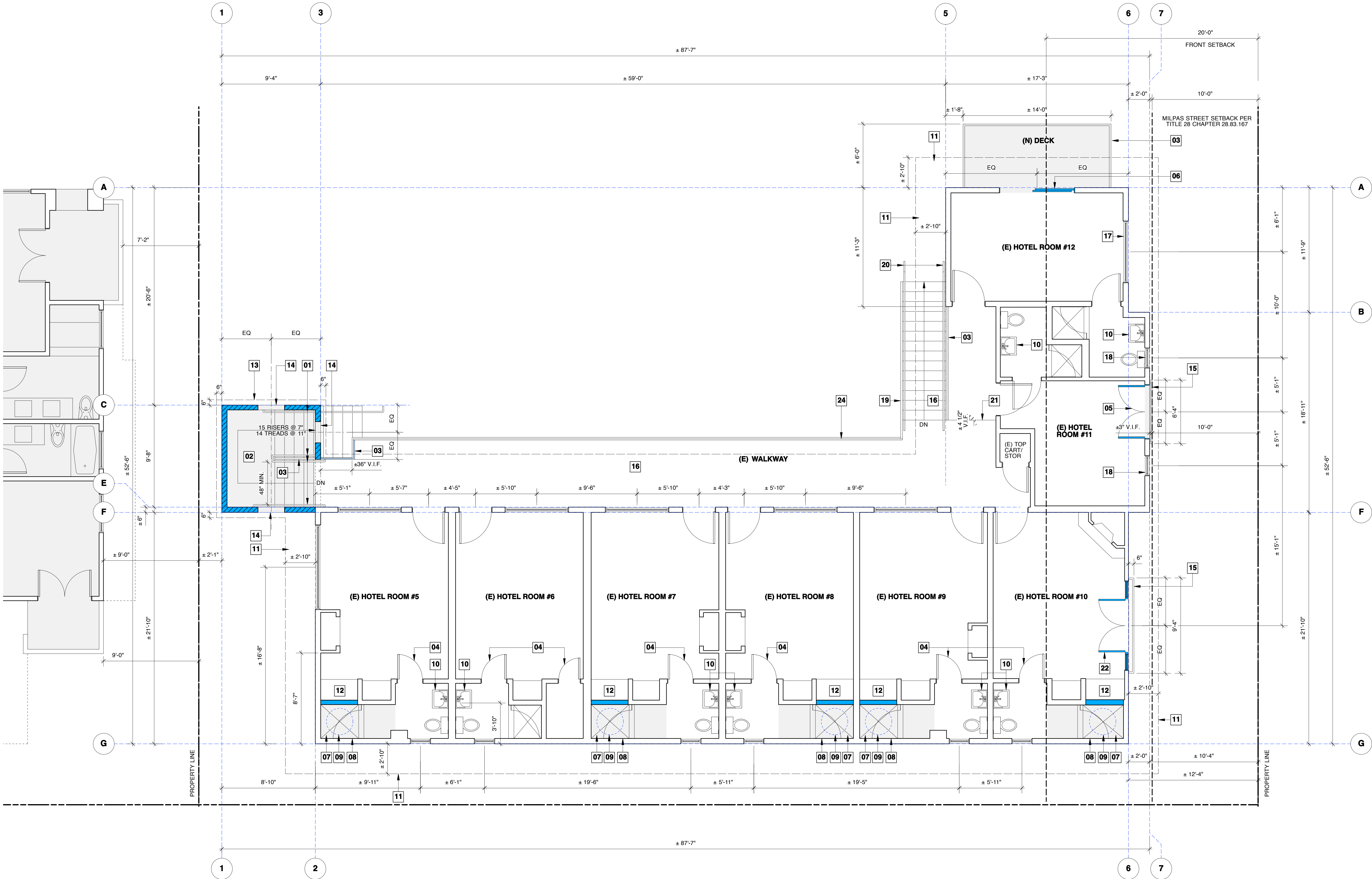
421 S. MILPAS STREET
SANTA BARBARA, CA

| DATE | DESCRIPTION |
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| 08/18/21 | ABR RESUBMITTAL |
| 09/28/21 | ABR RESUBMITTAL |

A 1.1
LOWER LEVEL FLOOR PLAN-
PROPOSED

333 SANTA BARBARA STREET
SANTA BARBARA, CA 93101
TEL: (805) 963-0986
FAX: (805) 963-0178
DANIEL DAWNSHERRY, C.O.

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FLOOR PLAN GENERAL NOTES:

ALL EXTERIOR OPENINGS SHALL BE FLASHED IN ORDER TO MAKE THEM WATERPROOF.
ALL CONCEALED PLUMBING JOINTS SHALL BE NON-SLIP CONNECTIONS.
PROVIDE ACCESS PANEL (MIN. 12" X 12") OR UTILITY SPACE FOR ALL PLUMBING FIXTURES HAVING CONCEALED SLIP-JOIN CONNECTIONS.
PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THE QUICK-ACTING VALVES FROM THE WASHER AND DISHWASHER PER U.B.C. SECTION 609.10.
WATER PRESSURE IN BUILDING SHALL BE LIMITED TO 80 P.S.I. OR LESS.
ALL PLUMBING WALLS SHALL BE 2 X 6 STUDS.
NO GAS PIPING SHALL BE INSTALLED IN OR ON THE GROUND, UNDER ANY BUILDING OR STRUCTURE. ALL EXPOSED GAS PIPING SHALL BE KEPT AT LEAST SIX (6) INCHES ABOVE GRADE OR STRUCTURE.
ALL HOSE BIBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE APPROVED BACKFLOW PREVENTION DEVICES. FIELD VERIFY AND RELOCATE AS REQUIRED TO ACCOMMODATE DEMOLITION AND NEW CONSTRUCTION.
WINDOW AND DOOR NOTES:
VERIFY ALL NEW & EXISTING WINDOWS AND DOORS (TYPES, MATERIAL, DIRECTION OF OPERABILITY, IF ANY, ETC.) WITH OWNER & ARCHITECT PRIOR TO PURCHASE AND INSTALLATION.
ALL DOORS AND WINDOWS ARE EXISTING TO REMAIN, UNLESS NOTED OTHERWISE.
ALL NEW EXTERIOR FRENCH DOORS AND WINDOWS SHALL BE DUAL GLAZED W/ MIN. OF ONE TEMPERED PANE, LOW E.
GLAZING WITHIN 18" OF FINISH FLOOR SHALL BE TEMPERED GLASS.

EGRESS WINDOW NOTES:

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.
ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.
THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.
THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.
THE MAXIMUM SILL HEIGHT SHALL BE 44 INCHES A.F.F. TO ACTUAL WINDOW OPENING.

PLUMBING NOTES:

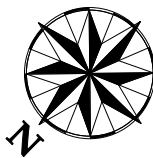
ALL PLUMBING FIXTURES ON PLAN ARE EXISTING U.N.O.
ALL NEW PLUMBING FIXTURES SHOWN ON PLAN TO BE TIED INTO EXISTING WATER/SEWER SYSTEMS LOCATED ON PARCEL.
ALL NEW PLUMBING FIXTURES TO BE WATER CONSERVING DEVICES AND MUST MEET THE RESTRICTED FLOW REQUIREMENTS OF BELOW.
NON-COMPLIANT (E) PLUMBING FIXTURES SHALL BE REPLACED TO COMPLY WITH CURRENT CPC AND CALIFORNIA GREEN BUILDING STANDARD REQUIREMENTS PER 2013 CGC 1101
WATER CLOSETS, EITHER FLUSH TANK, FLUSHOMETER TANK, OR FLUSHOMETER VALVE OPERATED, SHALL HAVE AN AVERAGE CONSUMPTION OF NOT MORE THAN 1.28 GALLONS OF WATER PER FLUSH. LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.5 GPM AT 80 PSI. KITCHEN FAUCETS: MAX. 1.8 GPM AT 60 PSI. SHOWERHEADS: MAX. 2.0 GPM AT 80 PSI AND MULTIPLE SHOWERHEADS SERVING ONE SHOWER SHALL HAVE A COMBINED FLOW RATE OF ALL SHOWERHEADS OF 2.0 GPM AT 80 PSI. - 2013 CALIFORNIA GREEN BUILDING STANDARD SECTION 4.303 AND 2013 CPC SECTION 403 AND 408
PROVIDE PRESSURE BALANCING VALVES AT ALL SHOWERS

SHOWER NOTES:

1. SHOWER FLOOR AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
2. SHOWER RECEPTOR SHALL BE WATERTIGHT AND SHALL BE CONSTRUCTED FROM APPROVED-TYPE DENSE, NONABSORBENT, AND NONCORROSIVE MATERIALS. EACH RECEPTOR SHALL BE ADEQUATELY REINFORCED, SHALL BE PROVIDED WITH AN APPROVED FLANGED FLOOR DRAIN DESIGNED TO MAKE A WATERTIGHT JOINT IN THE FLOOR, AND SHALL HAVE SMOOTH, IMPERVIOUS, AND DURABLE SURFACES. SHOWER LINING AND RECEPTORS TO COMPLY WITH CPC 2013 SECTION 408.7

SMOKE ALARM NOTES:

PER 2013 CBC 907.1.11.1 GROUP R-1, SINGLE- OR MULTIPLE STATION SMOKE ALARMS SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS IN GROUP R-1:
1. IN SLEEPING AREAS.
2. IN EVERY ROOM IN THE PATH OF THE MEANS OF EGRESS FROM THE SLEEPING AREA TO THE DOOR LEADING FROM THE SLEEPING UNIT.
3. IN EACH STORY WITHIN THE SLEEPING UNIT, INCLUDING BASEMENTS, FOR SLEEPING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.



UPPER LEVEL FLOOR PLAN-NEWLY PROPOSED

SCALE: 1/4" = 1'-0"

FLOOR PLAN REFERENCE NOTES:

- 01 (N) WROUGHT IRON HANDRAILS
- 02 (N) STAIRS
- 03 (N) WROUGHT IRON GUARDRAIL, 42" H. MIN.
- 04 SWING DIRECTION OF (E) DOOR TO BE CHANGED
- 05 (N) 5068 DOOR
- 06 (N) 7068 SLIDER
- 07 (N) SHOWER
- 08 (N) SHATTERPROOF GLASS PARTITION W/ 2'-8" W. DOOR
- 09 30" DIA. MIN. CLEARANCE
- 10 (E) SINK TO BE REPLACED WITH (N)
- 11 (E) ROOF ABOVE
- 12 (N) SHELVES
- 13 (N) ROOF ABOVE
- 14 (N) OPENING WITH WROUGHT IRON GRILLE
- 15 (N) JULIET BALCONY
- 16 (E) WALKWAY AND STAIRS TO BE RE-SURFACED
- 17 (E) WINDOW WITH (N) SHUTTER
- 18 (E) WINDOW WITH WROUGHT IRON GRILLE
- 19 (E) WROUGHT IRON GUARDRAIL AND HANDRAIL TO BE REPLACED WITH (N)
- 20 (N) WROUGHT IRON HANDRAIL EXTENSION
- 21 (E) STEP TO BE RELOCATED
- 22 (E) WINDOW TO BE REPLACED WITH (N) FRENCH DOOR WITH SIDELITES
- 23 NOT USED
- 24 (E) WROUGHT IRON GUARDRAIL TO BE REPLACED WITH (N)

NOTE:
ALL (E) GUESTROOM DOORS AND HARDWARES TO BE REPLACED WITH (N)

WALL LEGEND

- (E) WALL TO REMAIN
- (N) 2x STUD PARTITION WALL
- (N) 2x STUD EXTERIOR WALL
- SHADED AREA INDICATES AREA OF PROPOSED ALTERATION WORK

EXTERIOR AND INTERIOR ALTERATIONS
TO EXISTING HOTEL.

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SANTA BARBARA, CA

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| 09/28/21 | ABR RESUBMITTAL |

A 1.2

UPPER LEVEL FLOOR PLAN
- PROPOSED

S H E R R Y & A S S O C I A T E S
A R C H I T E C T S
222 SANTA BARBARA STREET
SUITE 200
SANTA BARBARA, CA 93101
TEL: (805) 963-0986
FAX: (805) 963-0178
WWW.DANSHERRY.COM

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ELEVATION KEYNOTES:

- 01

(E) OPENING AND WINDOW SHUTTERS TO BE REMOVED
- 02

(E) CEMENT PLASTER TRIM TO BE REMOVED
- 03

(E) EAST STAIR TO BE REMOVED
- 04

(E) ROOF TO BE REPLACED WITH (N) UPPER DECK/GUARDRAIL
- 05

(E) WINDOW TO BE REMOVED
- 06

(E) SCNCE TO BE REPLACED WITH (N)
- 07

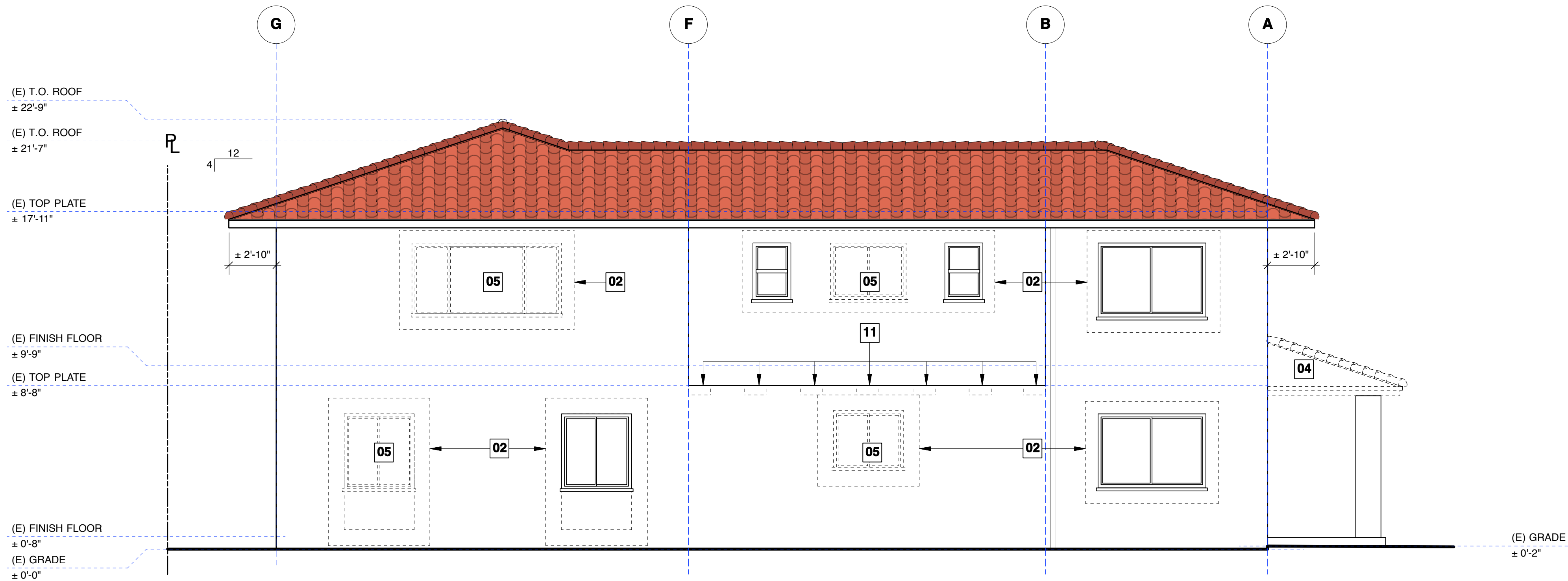
(E) SCNCE TO BE REMOVED
- 08

(E) WEST STAIR TO REMAIN
- 09

(E) GUARDRAIL AND HANDRAILS AT WEST STAIR TO BE REPLACED WITH (N)
- 10

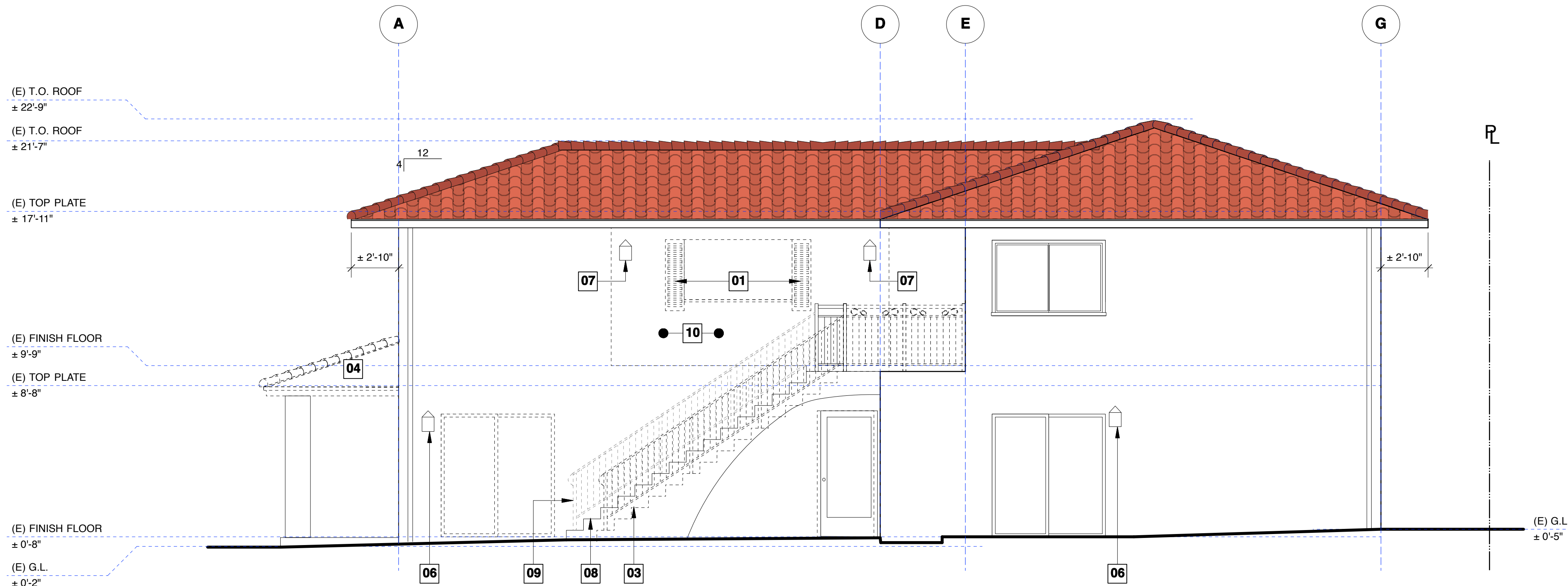
(E) WALL TO BE REMOVED
- 11

(E) DECORATIVE CORBEL TO BE REPLACED W/ (N)



WEST ELEVATION - EXISTING AND DEMOLITION

SCALE: 1/4" = 1'-0"



EAST ELEVATION - EXISTING AND DEMOLITION

SCALE: 1/4" = 1'-0"

EXTERIOR AND INTERIOR ALTERATIONS
TO EXISTING HOTEL.

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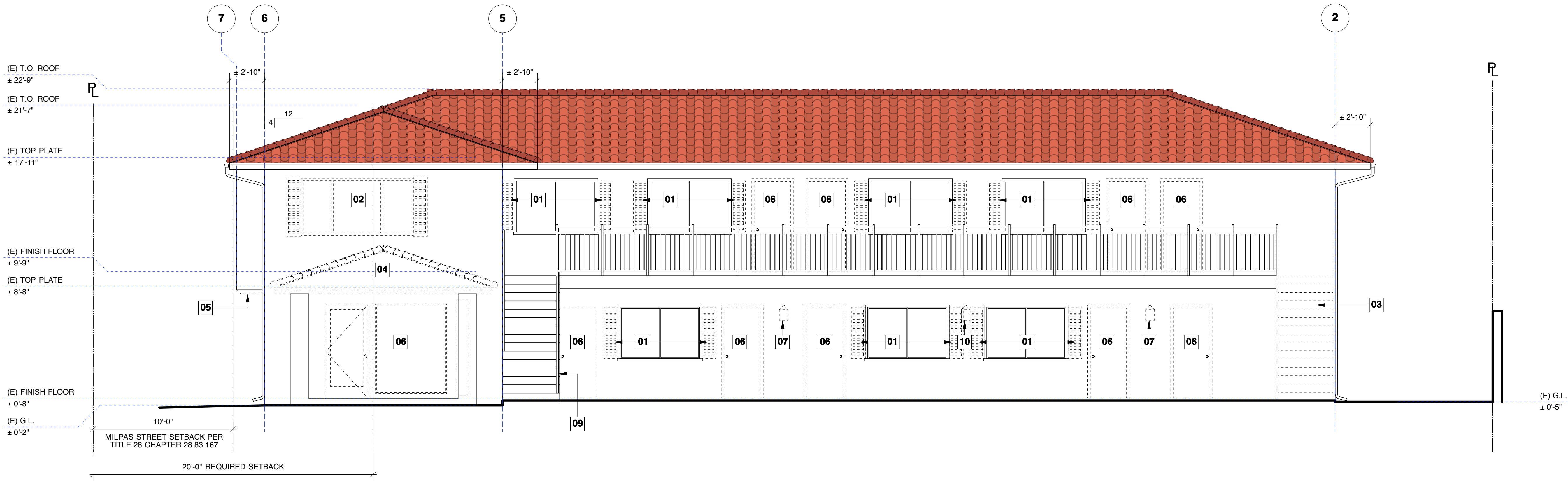
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A R C H I T E C T S

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SANTA BARBARA, CA 93101
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| 08/18/21 | ABR RESUBMITTAL |
| 09/28/21 | ABR RESUBMITTAL |

ELEVATION KEYNOTES:

- 01 (E) WINDOW SHUTTERS TO BE REMOVED
02 (E) WINDOW AND SHUTTERS TO BE REPLACED WITH (N) DOOR
03 (E) EAST STAIR TO BE REMOVED
04 (E) ROOF TO BE REPLACED WITH (N) UPPER DECK/GUARDRAIL
05 (E) DECORATIVE CORBEL TO BE REPLACED W/(N)
06 (E) DOOR TO BE REPLACED WITH (N)
07 (E) SCONCE TO BE RELOCATED AND REPLACED WITH (N)
08 (E) WINDOW TO BE REMOVED
09 (E) GUARDRAIL AND HANDRAIL AT WEST STAIR TO BE REPLACED WITH (N)
10 (E) SCONCE TO BE REMOVED
11 (E) 6' H. WOOD FENCE AND GATE TO REMAIN



SOUTH ELEVATION - EXISTING AND DEMOLITION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION - EXISTING AND DEMOLITION

SCALE: 1/4" = 1'-0"

S H E R R Y & A S S O C I A T E S

EXTERIOR AND INTERIOR ALTERATIONS
TO EXISTING HOTEL.

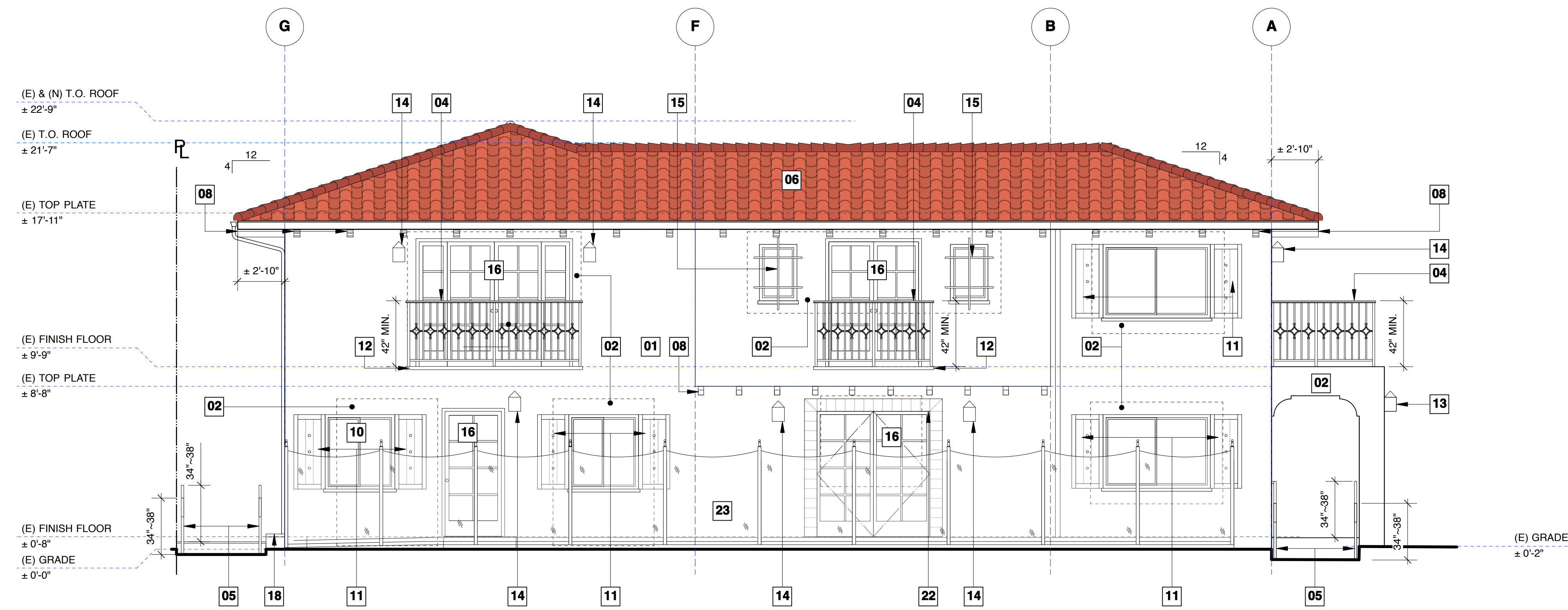
421 S. MILPAS STREET
SANTA BARBARA, CA

555 SANTA BARBARA STREET
SANTA BARBARA, CA 93101
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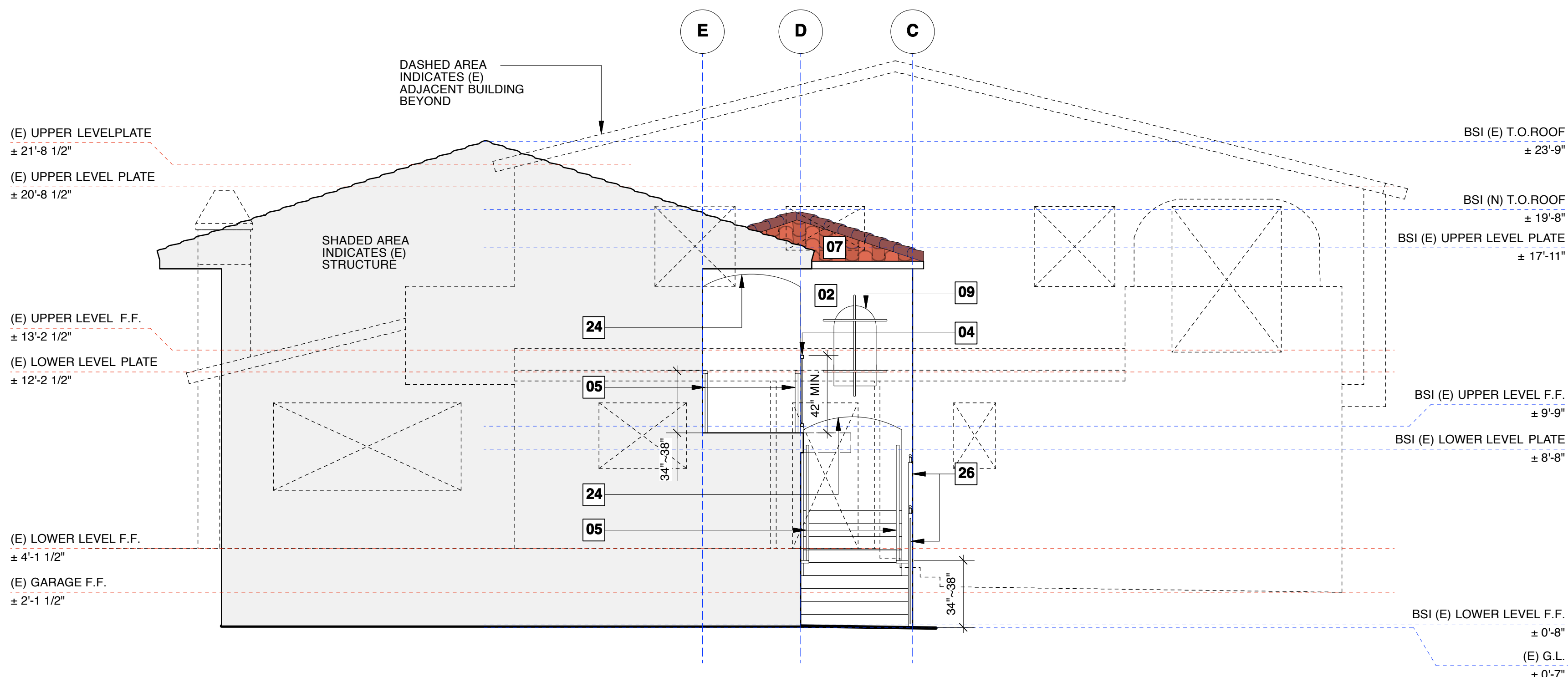
ELEVATION KEYNOTES:

- 01 (E) CEMENT PLASTER TO REMAIN
02 (N) CEMENT PLASTER TO MATCH (E)
03 NOT USED
04 (N) WROUGHT IRON GUARDRAIL, 42" H. MIN.
05 (N) WROUGHT IRON HANDRAIL
06 (E) TILE ROOF TO REMAIN
07 (N) TILE ROOF TO MATCH (E)
08 (N) DECORATIVE WOOD CORBEL
09 (N) OPENING WITH WROUGHT IRON GRILLE
10 (N) WINDOW
11 (N) WOOD SHUTTERS
12 (N) JULIET BALCONY
13 (E) SCONCE TO BE REPLACED WITH (N)
14 (N) SCONCE
15 (E) WINDOW WITH (N) WROUGHT IRON GRILLE
16 (N) DOOR
17 (N) DOWNSPOUT TO MATCH (E)
18 (N) CURB, 6" H. MIN.
19 (E) DOOR TO BE REPLACED WITH (N) WINDOW
20 (N) ±66" H. GLASS FENCE AND GATE
21 (E) WROUGHT IRON GUARDRAIL AND HANDRAIL TO BE REPLACED WITH (N)
22 (N) TILE
23 (N) 5'-0" H. TEMPERED GLASS WIND SCREEN W/ STEEL POSTS, POWDER COATED TO MATCH (E)
24 (N) 4674 OPENING
25 NOT USED
26 (N) POOL FENCE, 60" H. MIN. ABOVE F.F. OR THREAD



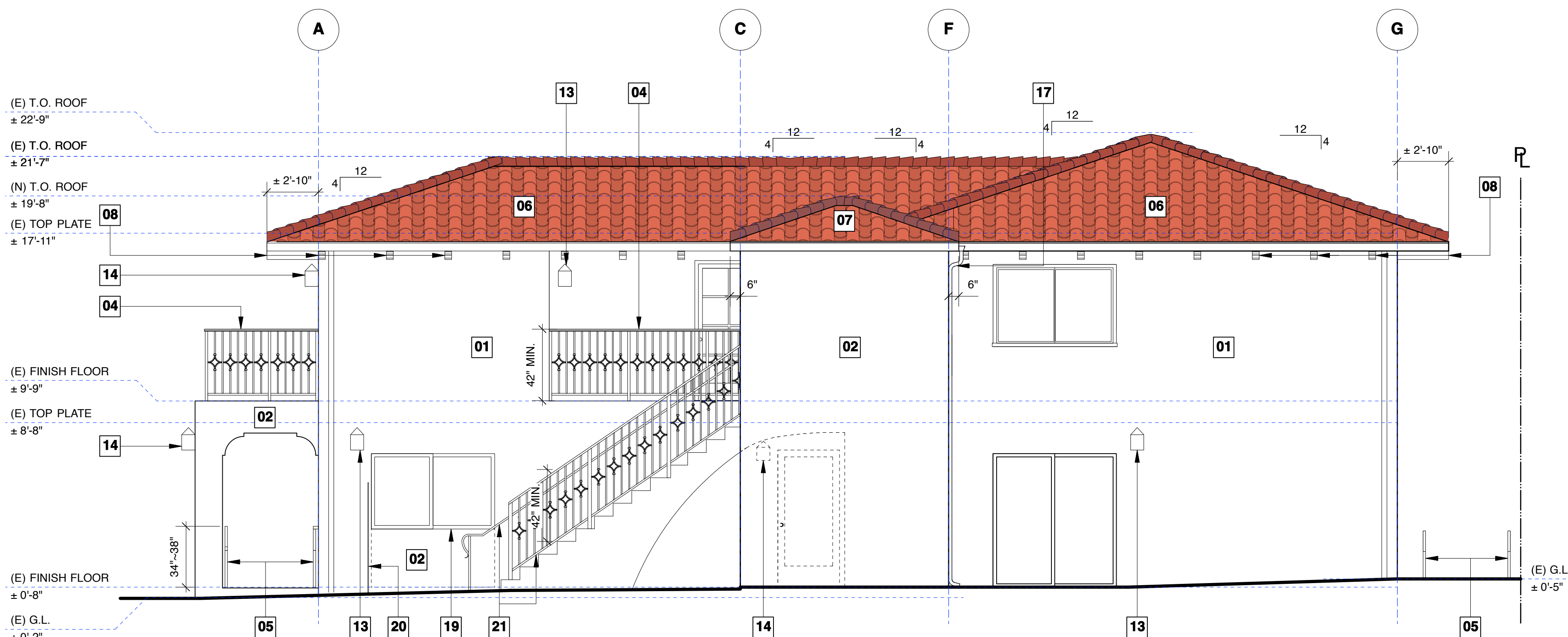
WEST ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"



PROPOSED STAIR TOWER WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

NOTE:
VERIFY 6'-8" MIN. HEAD CLEARANCE @ DOOR ACCESS/PUSH SIDE
CLEARANCE UNDER (E) STAIR IN FIELD

EXTERIOR AND INTERIOR ALTERATIONS
TO EXISTING HOTEL.

421 S. MILPAS STREET
SANTA BARBARA, CA

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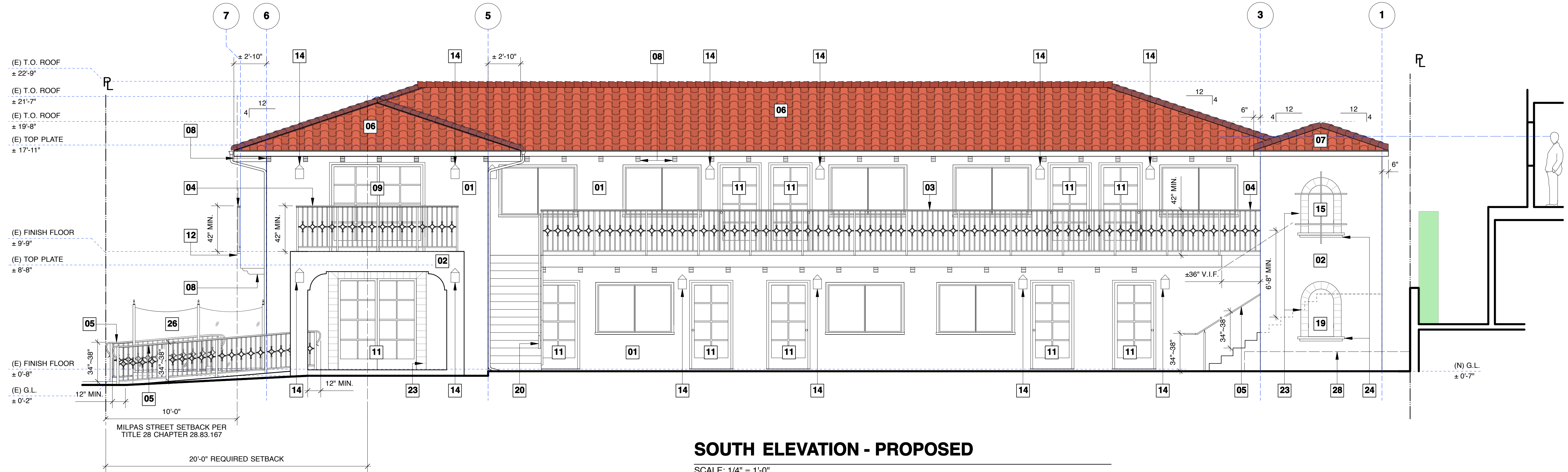
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| 09/28/21 | ABR RESUBMITTAL |

A 2.3

ELEVATIONS - PROPOSED

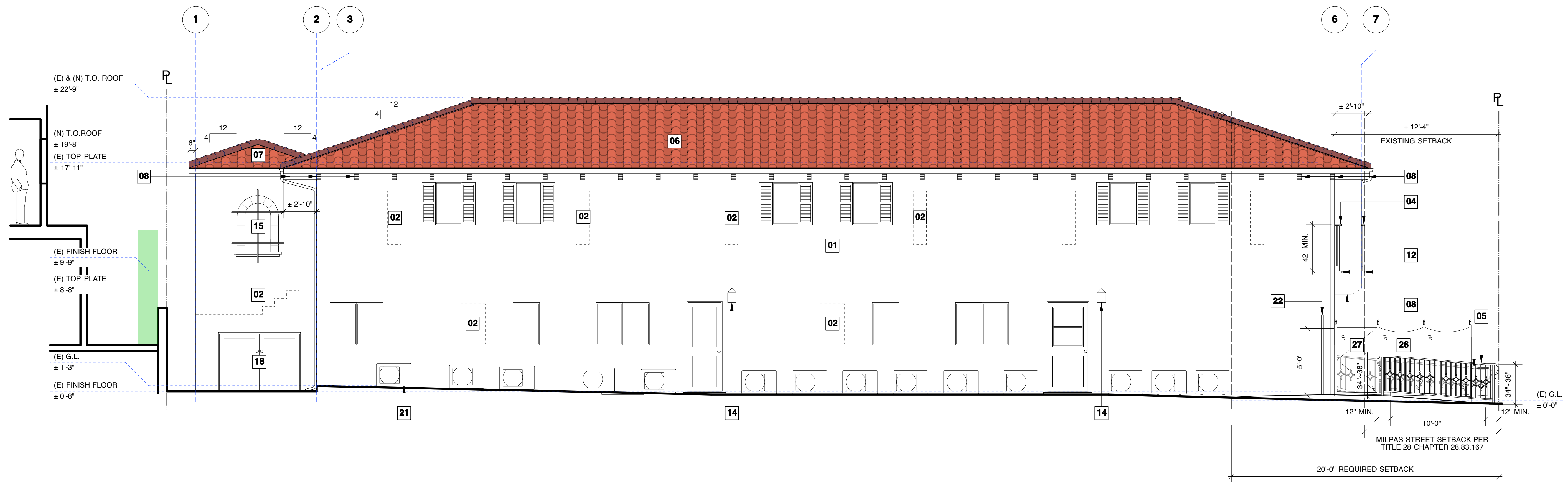
ELEVATION KEYNOTES:

- 01 (E) CEMENT PLASTER TO REMAIN
02 (N) CEMENT PLASTER TO MATCH (E)
03 (E) WROUGHT IRON GUARDRAIL TO BE REPLACED W/ (N)
04 (N) WROUGHT IRON GUARDRAIL, 42" H. MIN.
05 (N) WROUGHT IRON HANDRAIL
06 (E) TILE ROOF TO REMAIN
07 (N) TILE ROOF TO MATCH (E)
08 (N) DECORATIVE WOOD CORBEL
09 (N) SLIDER
10 NOT USED
11 (E) DOOR TO BE REPLACED WITH (N)
12 (N) JULIET BALCONY
13 (E) SCONCE TO BE REPLACED WITH (N)
14 (N) SCONCE
15 (N) OPENING WITH WROUGHT IRON GRILLE
16 NOT USED
17 (N) DOWNSPOUT TO MATCH (E)
18 (N) DOOR
19 (N) FAUX OPENING
20 (E) WROUGHT IRON GUARDRAIL AND HANDRAIL TO BE REPLACED WITH (N)
21 (E) HVAC OUTDOOR UNITS, TYP.
22 (E) 6" H. WOOD FENCE AND GATE TO BE RELOCATED AND REPLACED W/ (N)
23 (N) TILE
24 (N) CAST STONE SILL
25 (N) TILE ON TOP
26 (N) 5'-0" H. TEMPERED GLASS WIND SCREEN W/ STEEL POSTS, POWDER COATED TO MATCH (E)
27 (N) 3050 TEMPERED GLASS GATE
28 LONG DASHED LINE INDICATES (N) SPA



SOUTH ELEVATION - PROPOSED

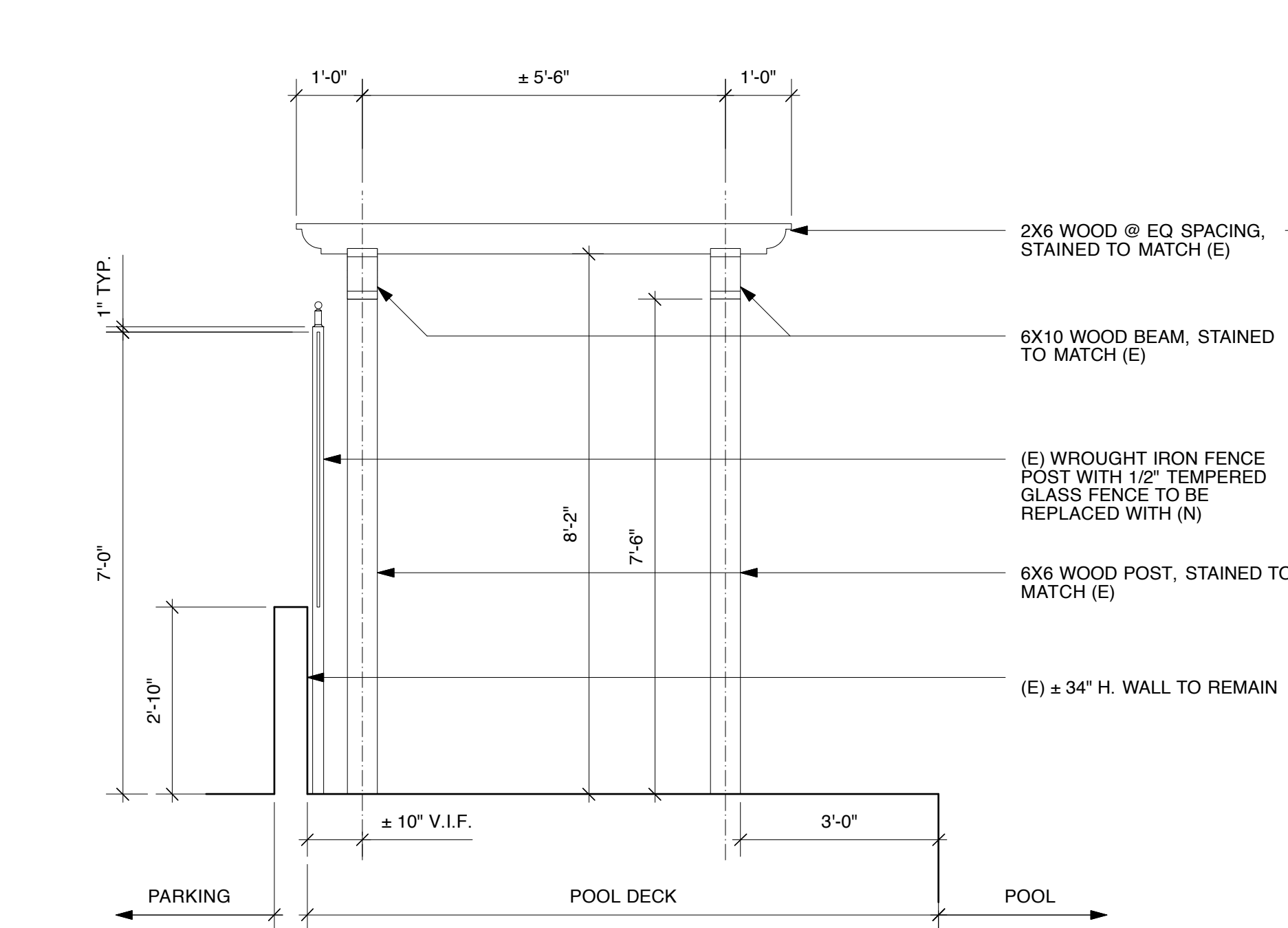
SCALE: 1/4" = 1'-0"



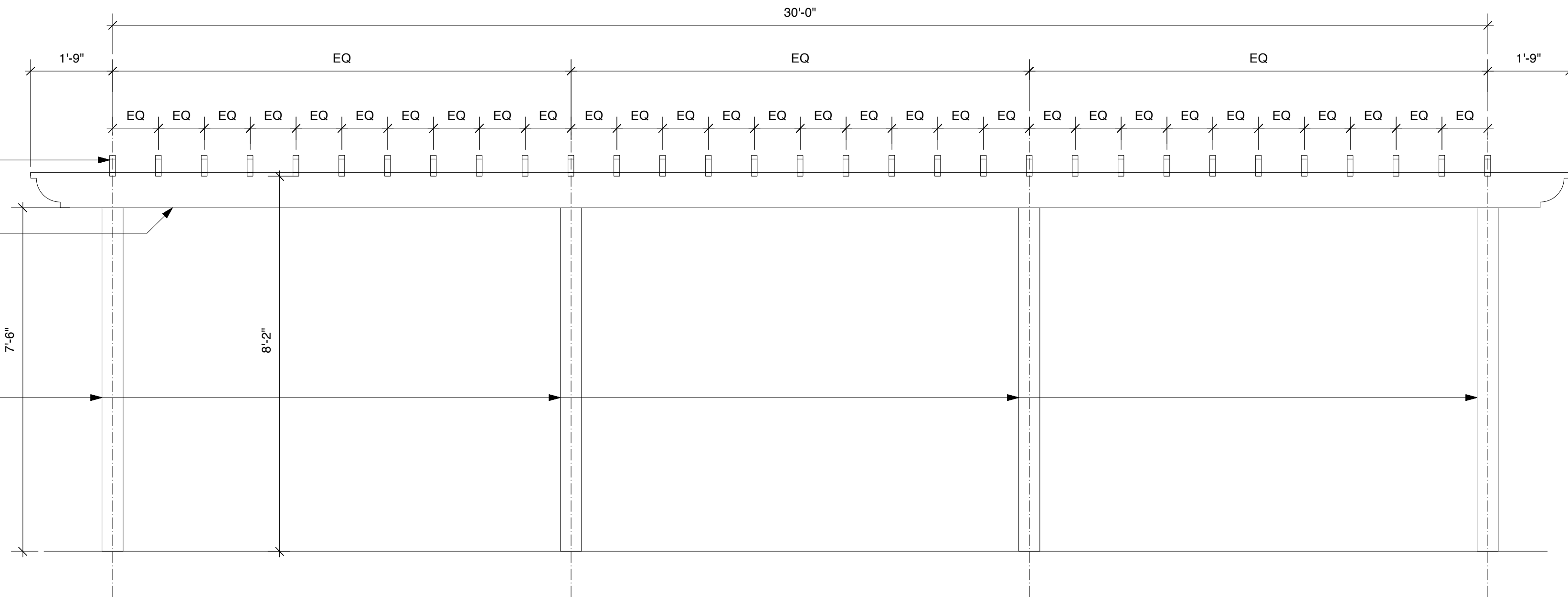
NORTH ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

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| 09/28/21 | ABR RESUBMITTAL |



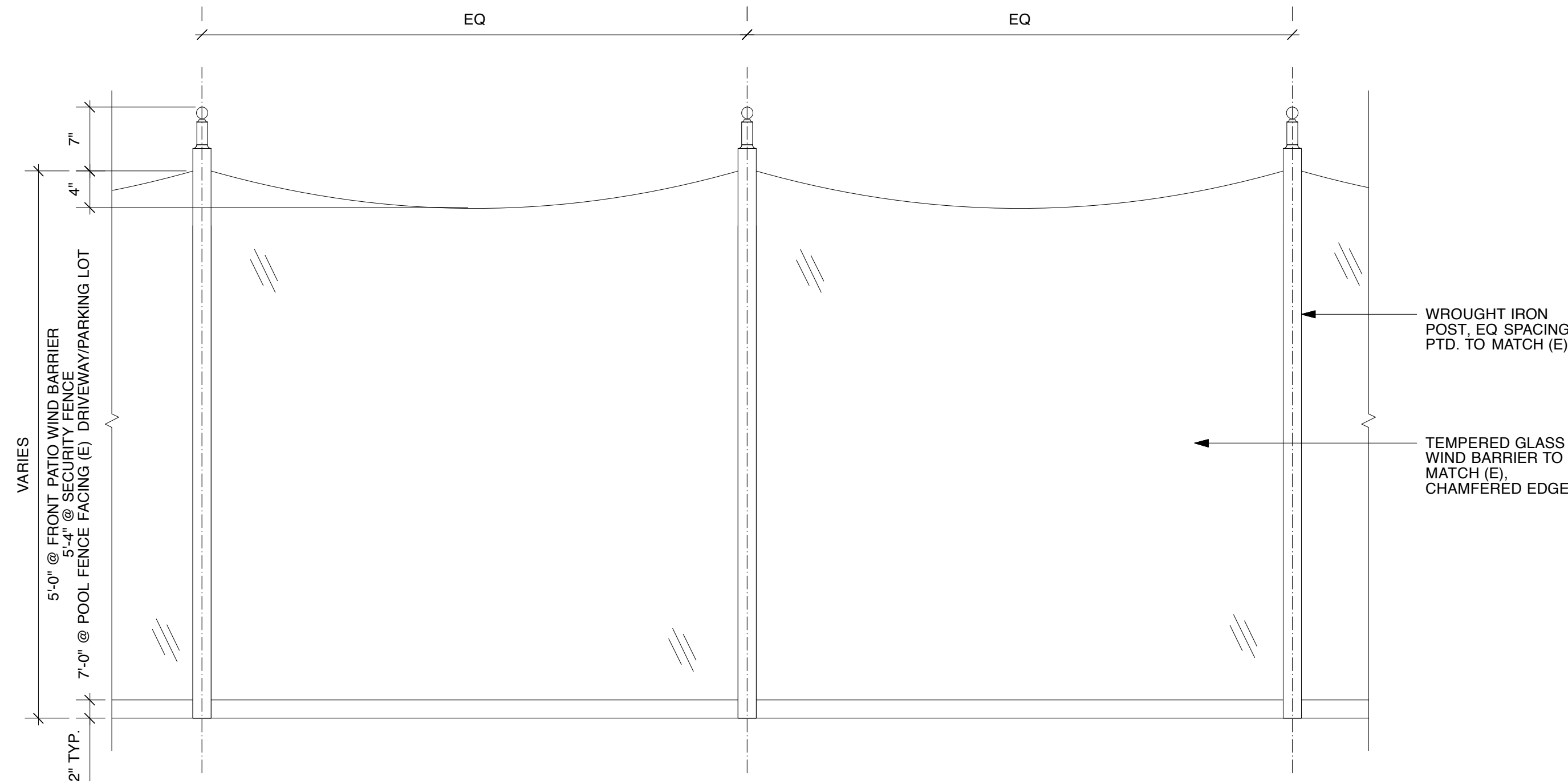
EAST ELEVATION



NORTH ELEVATION

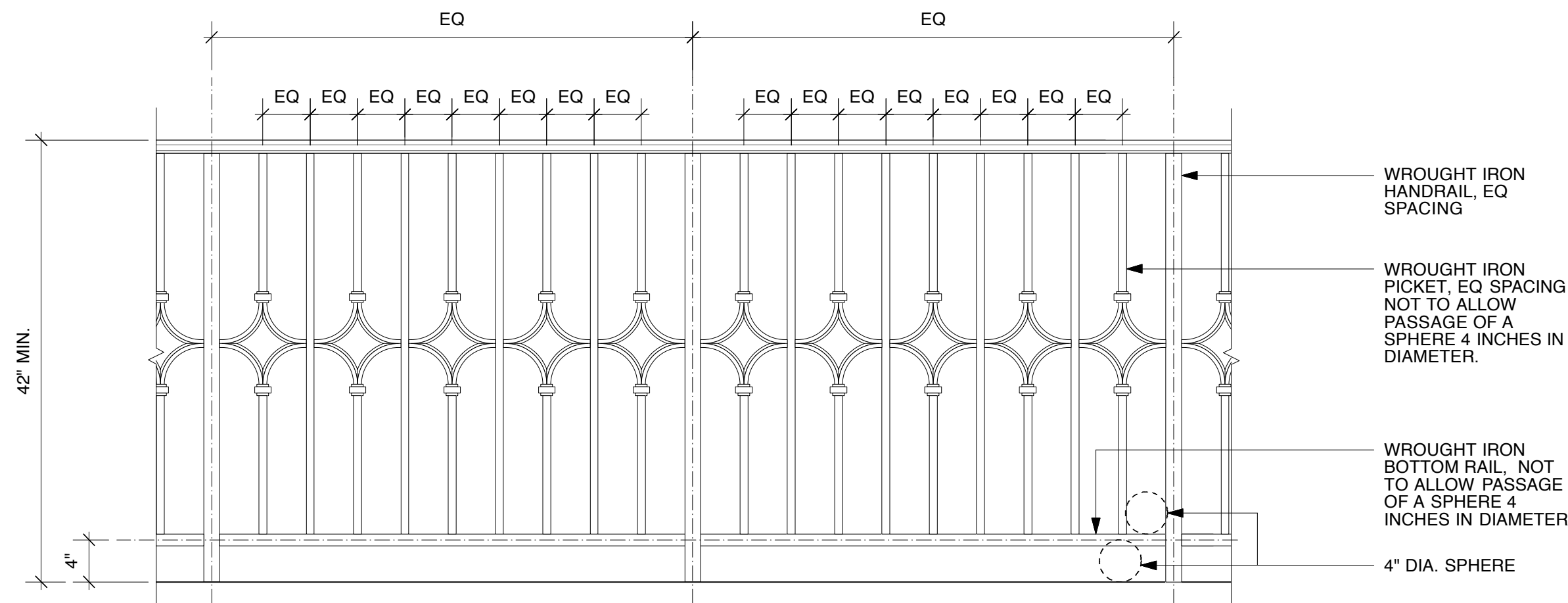
PROPOSED POOL TRELLIS
SCALE: 1/2" = 1'-0"

1



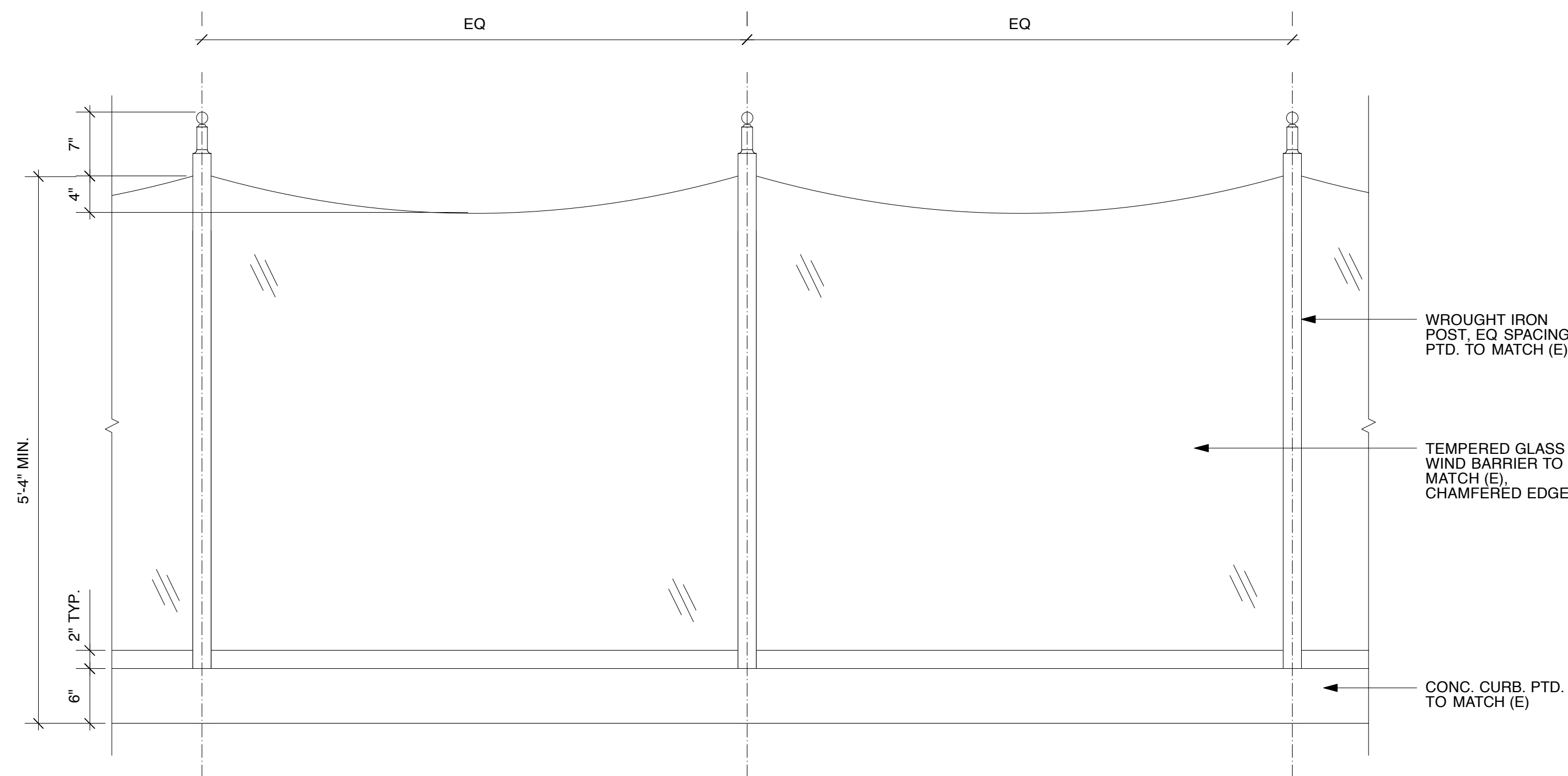
PROPOSED FRONT PATIO WIND BARRIER / SECURITY FENCE / POOL FENCE
SCALE: 1" = 1'-0"

4



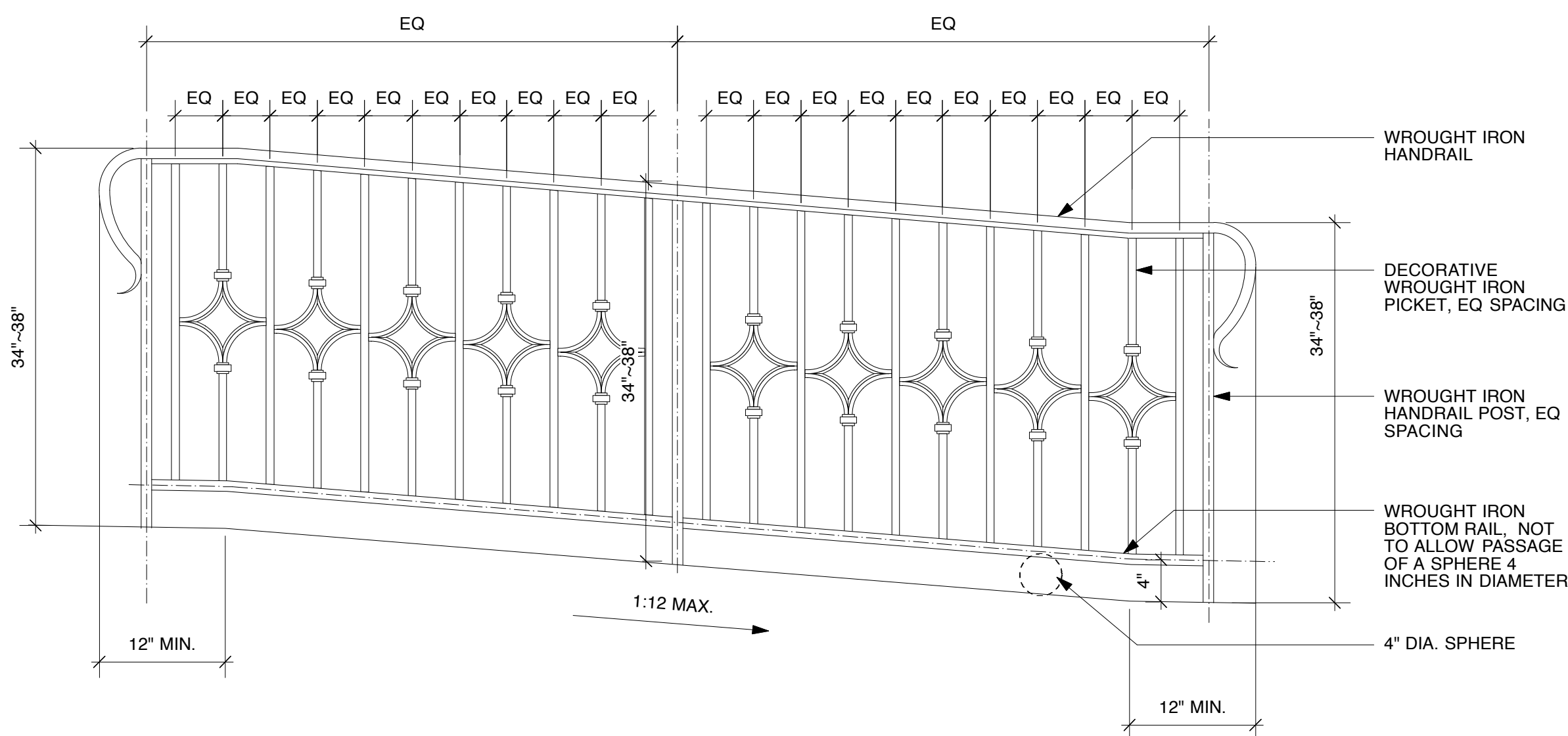
PROPOSED GUARDRAIL @ JULIET BALCONY & UPPER DECK
SCALE: 1" = 1'-0"

2



PROPOSED POOL FENCE W/ CURB
SCALE: 1" = 1'-0"

5



PROPOSED RAMP RAILING AT FRONT PATIO
SCALE: 1" = 1'-0"

3

EXTERIOR AND INTERIOR ALTERATIONS
TO EXISTING HOTEL.

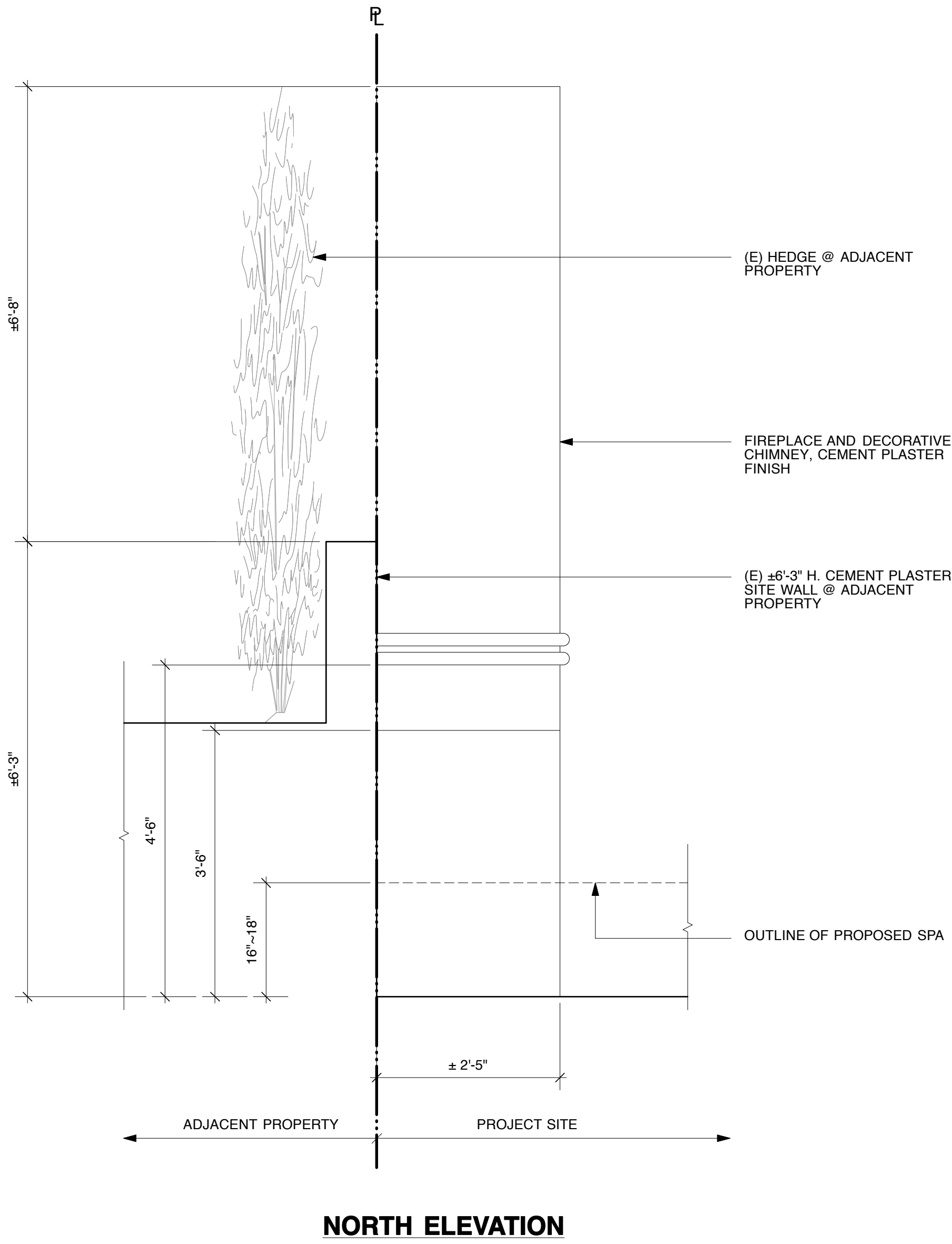
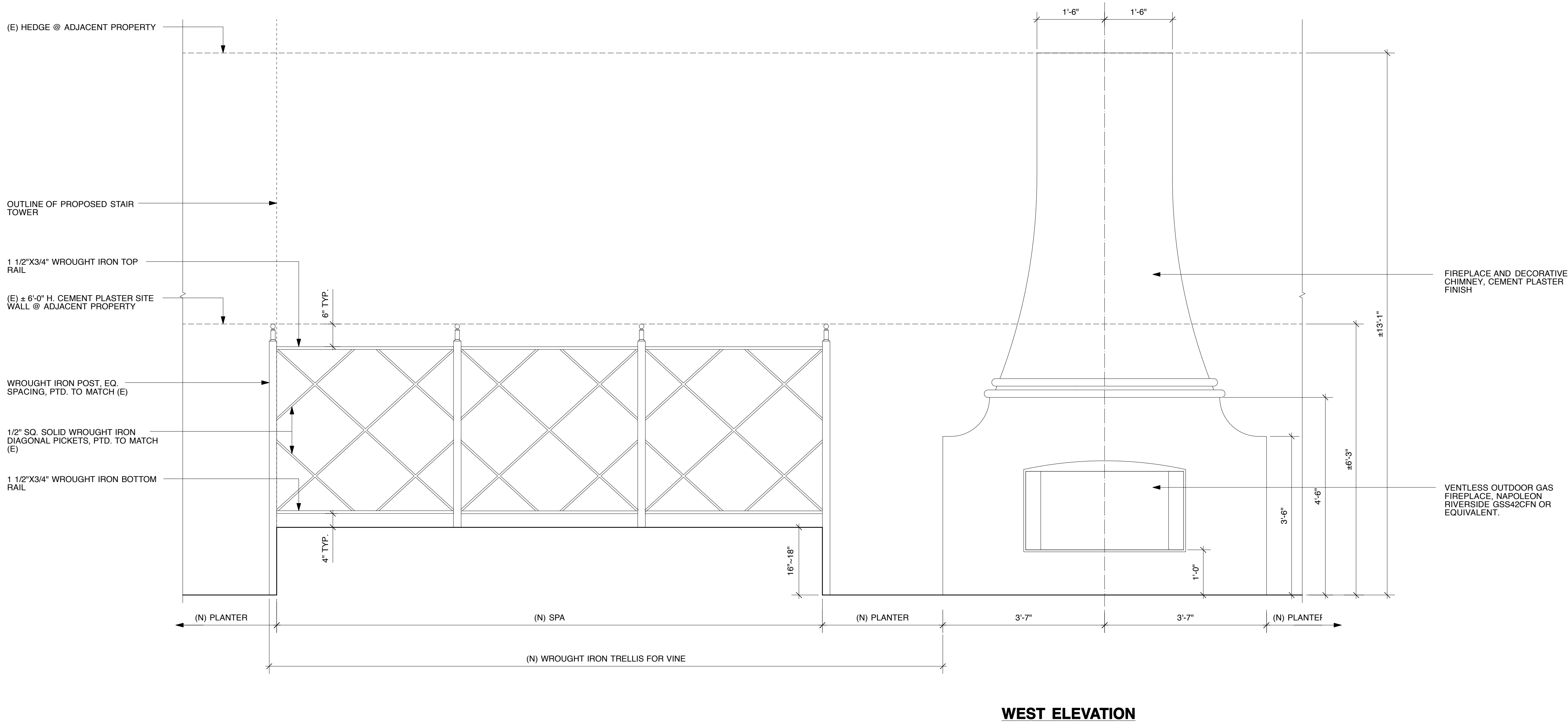
421 S. MILPAS STREET
SANTA BARBARA, CA

S H E R R Y & A S S O C I A T E S
A R C H I T E C T S

331 SANTA BARBARA STREET
SANTA BARBARA, CA 93101
P.O. BOX 23694
SANTA BARBARA, CA 93121
TEL: (805) 963-0198
FAX: (805) 963-0198
EMAIL: DAWN@DAWNHERRY.COM
DAWN B. DAWN HERRY, C.O.

| DATE | DESCRIPTION |
|----------|---------------------|
| 11/20/20 | ABR SUBMITTAL |
| 03/09/21 | CDP/MOD SUBMITTAL |
| 05/13/21 | CDP/MOD RESUBMITTAL |
| 07/30/21 | ABR RESUBMITTAL |
| 08/18/21 | ABR RESUBMITTAL |
| 09/28/21 | ABR RESUBMITTAL |

A 3.1
PROPOSED RAMP RAILING/ POOL
TRELLIS/ FENCE/ BARRIER/
GUARDRAIL.



PROPOSED OUTDOOR FIREPLACE AND WROUGHT IRON TRELLIS FOR VINE
SCALE: 3/4" = 1'-0"

EXTERIOR AND INTERIOR ALTERATIONS
TO EXISTING HOTEL.

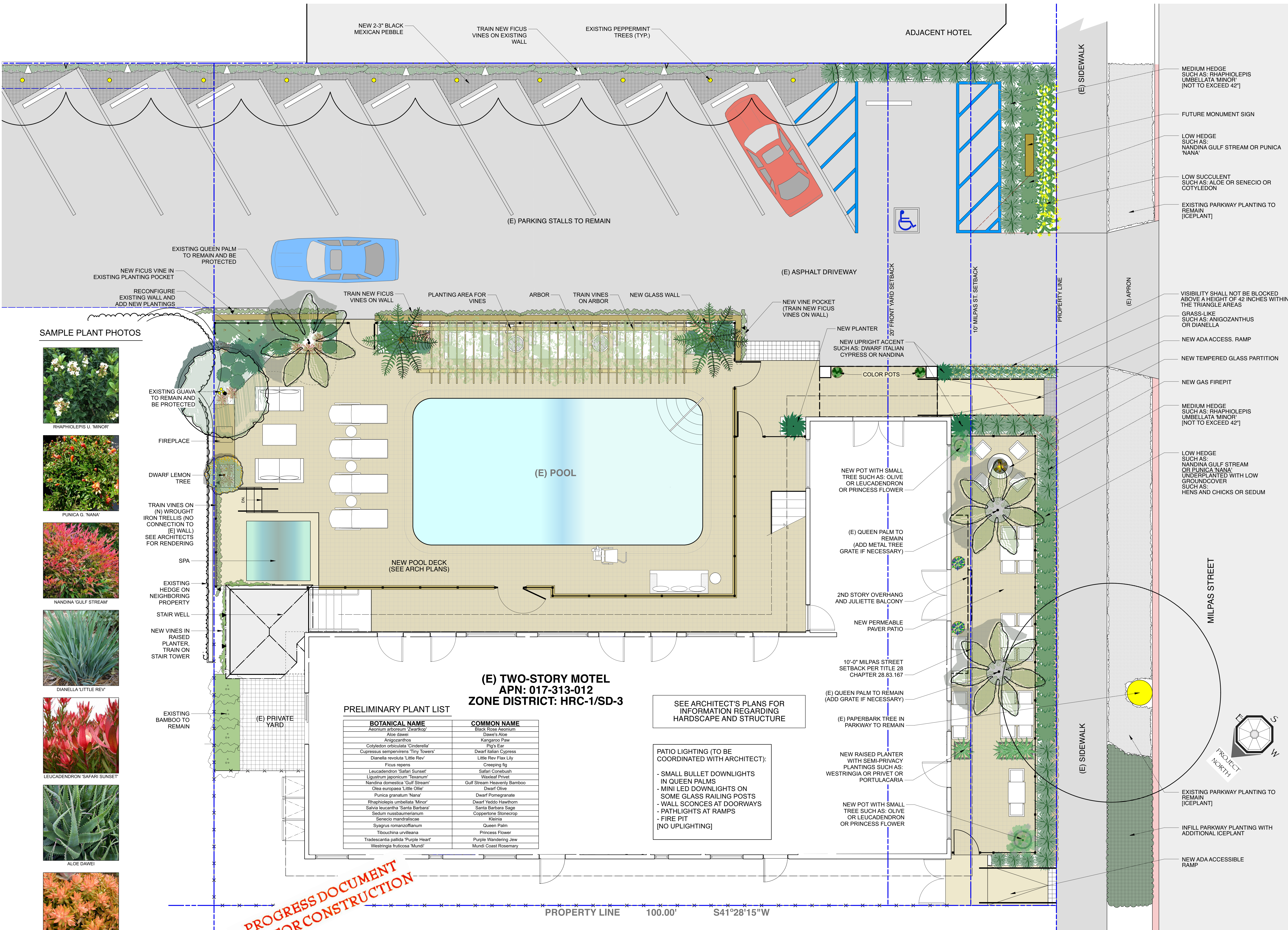
421 S. MILPAS STREET
SANTA BARBARA, CA

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| 11/20/20 | ABR SUBMITTAL |
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S H E R R Y &
A R C H I T E C T S

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SAMPLE PLANT PHOTOS



| PRELIMINARY PLANT LIST | |
|--------------------------------------|-----------------------------|
| BOTANICAL NAME | COMMON NAME |
| Aeonium arborescens 'Zwartkop' | Black Rose Aeonium |
| Aloe dawei | Dawe's Aloe |
| Anigozanthos | Kangaroo Paw |
| Cotyledon orbiculata 'Cinderella' | Pig's Ear |
| Cupressus sempervirens 'Tiny Towers' | Dwarf Italian Cypress |
| Dianella revoluta 'Little Rev' | Little Rev Flax Lily |
| Ficus repens | Creeping fig |
| Leucadendron 'Safari Sunset' | Safari Conebush |
| Ligustrum japonicum 'Texanum' | Waxleaf Privet |
| Nandina domestica 'Gulf Stream' | Gulf Stream Heavenly Bamboo |
| Olea europaea 'Little Olive' | Dwarf Olive |
| Punica granatum 'Nana' | Dwarf Pomegranate |
| Rhaphiolepis umbellata 'Minor' | Dwarf Yeddo Hawthorn |
| Salvia leucantha 'Santa Barbara' | Santa Barbara Sage |
| Sedum nussbaumerianum | Copperstone Stonecrop |
| Senecio mandraliscae | Kleinia |
| Syagrus romanzoffianum | Queen Palm |
| Tibouchina urvilleana | Princess Flower |
| Tradescantia pallida 'Purple Heart' | Purple Wandering Jew |
| Westringia fruticosa 'Mundi' | Mundi Coast Rosemary |

SEE ARCHITECT'S PLANS FOR INFORMATION REGARDING HARDSCAPE AND STRUCTURE

PATIO LIGHTING (TO BE COORDINATED WITH ARCHITECT):

- SMALL BULLET DOWNLIGHTS IN QUEEN PALMS
- MINI LED DOWNLIGHTS ON SOME GLASS RAILING POSTS
- WALL SCONCES AT DOORWAYS
- PATHLIGHTS AT RAMPS
- FIRE PIT [NO UPLIGHTING]

PROGRESS DOCUMENT
NOT FOR CONSTRUCTION

Landscape will use water-efficient irrigation systems, including drip irrigation, smart irrigation controllers, and rain sensors per requirements in SBMC §22.80.020

PROPERTY LINE 100.00' S41°28'15"W

PRELIMINARY LANDSCAPE PLAN ~ scale: 1/4"=1'-0"

CommonGround
landscape architecture+

202 State Street
Santa Barbara, CA 93101
805.963.7088
www.cglandscape.com

LANDSCAPE ARCHITECT
CommonGround A California
#4597
Signature
31 JULY 2023
Renewed Date
Date

preliminary landscape plan

SHEET NAME

CLIENT ADDRESS

PAGE DATE

REVISIONS

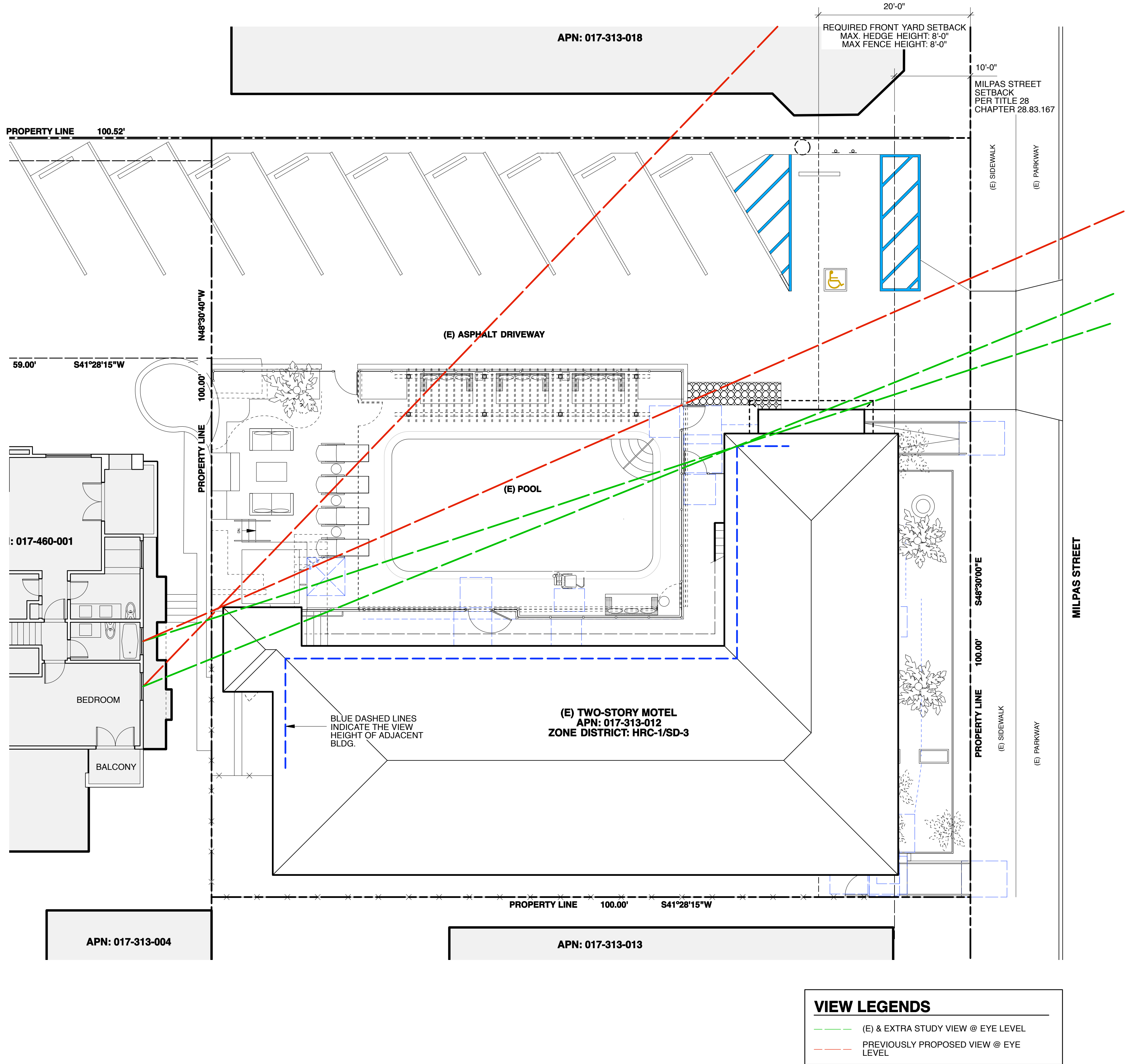
DRAWN BY
GM,NS

DATE
8 OCTOBER 2021

SHEET
L-0.1a

BLUE SAND INN
421 SOUTH MILPAS STREET
SANTA BARBARA, CA 93101

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EXTRA SITE PLAN AND VIEW STUDY-EXTENSION OF (E) HIP (REFERENCE ONLY)
SCALE: 1/8" = 1'-0"

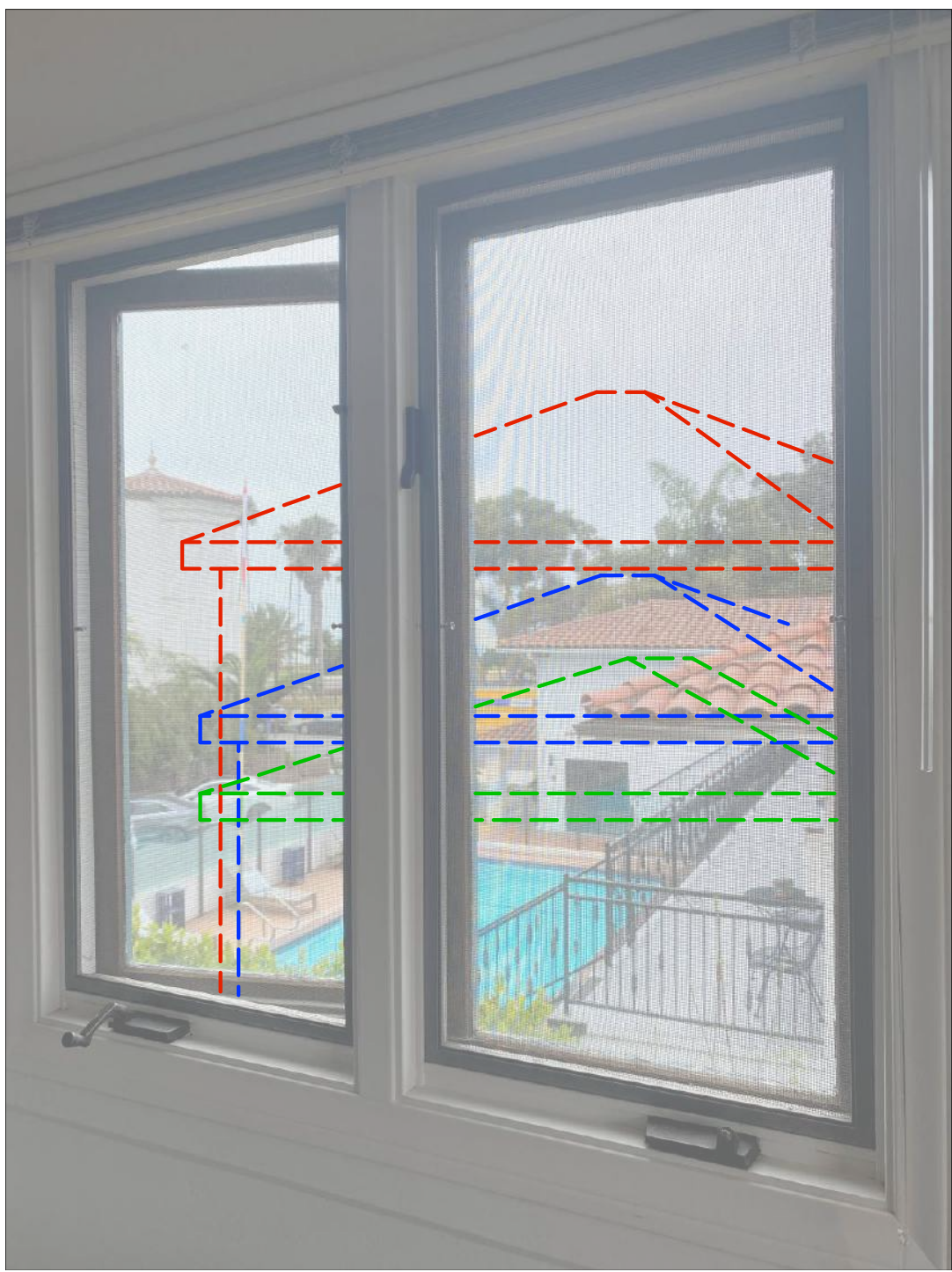
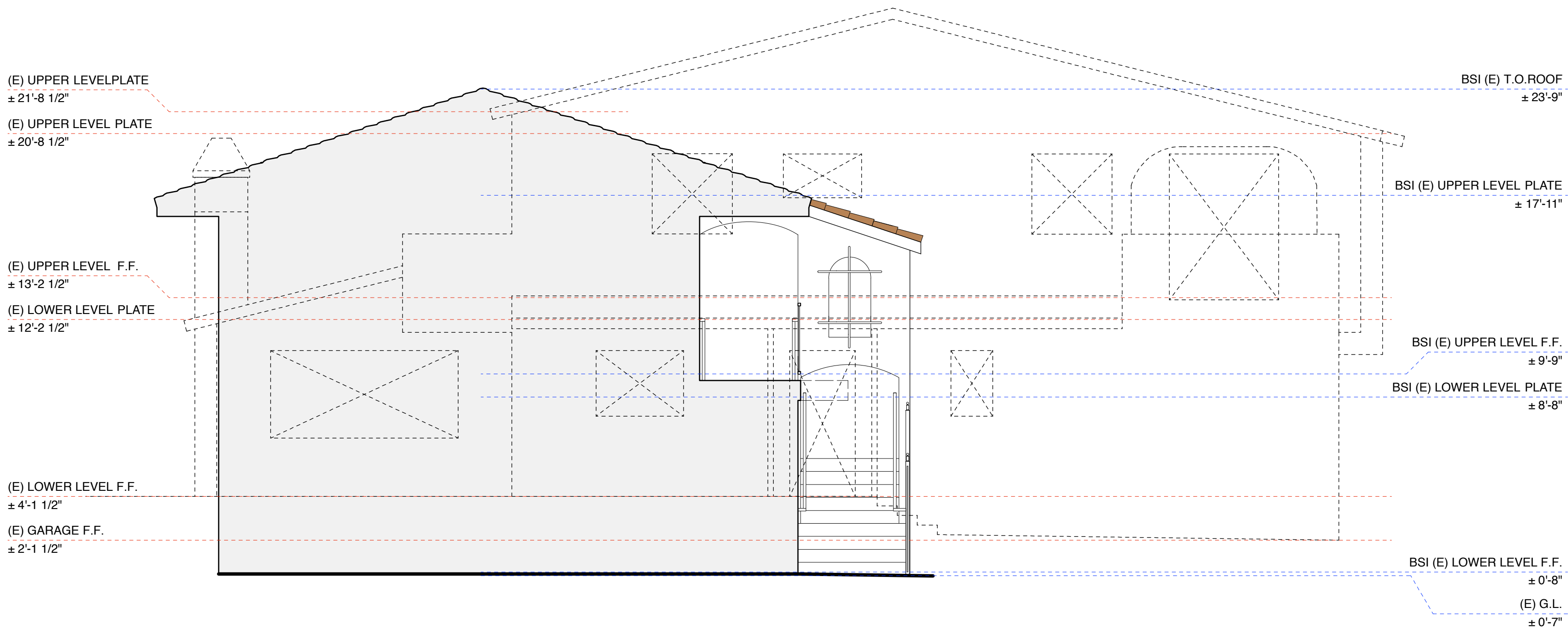


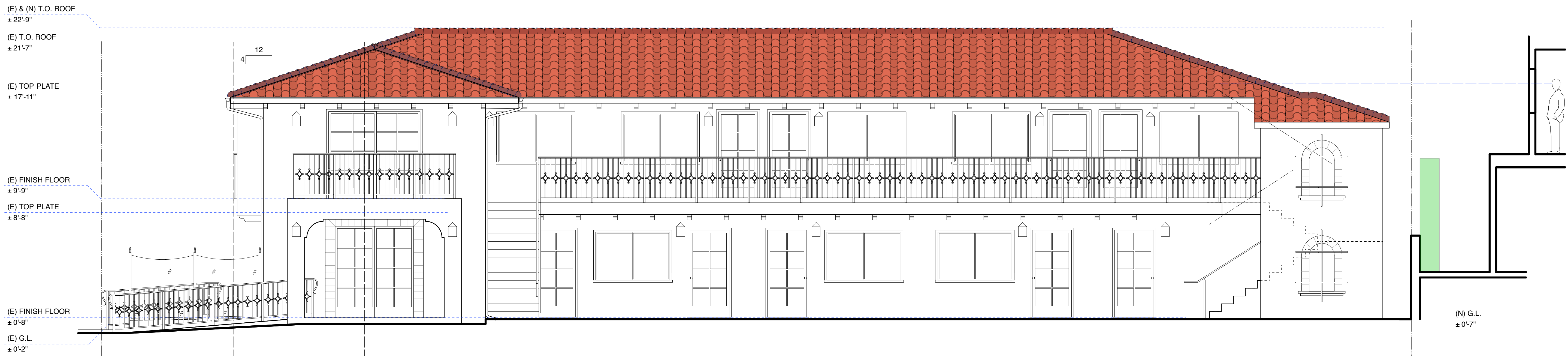
PHOTO VIEW STUDY FROM THE BEDROOM OF THE ADJACENT STRUCTURE.



PHOTO VIEW STUDY FROM THE BALCONY OF THE ADJACENT STRUCTURE.



EXTRA STAIR WEST ELEVATION STUDY-EXTENSION OF (E) HIP (REFERENCE ONLY)
SCALE: 1/4" = 1'-0"



EXTRA SOUTH ELEVATION STUDY-EXTENSION OF (E) HIP (REFERENCE ONLY)
SCALE: 1/4" = 1'-0"